

OUTDOOR SEATING REQUIREMENTS TABLE								
	Do avvivo d a ou IDO	Calculation	Provided					
	Required per IDO	Calculation	Existing	New	Total			
	One outdoor seating area of at least 400 SF for every 30,000 GSF	92,788 SF / 30,000			4 outdoor			
		SF = 3.09*400 =		0	seating areas			
Outdoor Seating		1,236 SF of	4		provided			
		Outdoor seating			totaling roughly			
		required			2,635 SF			

SITE DEVELOPMENT DATA

TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES

ZONING: NR-BP: NON-RESIDENTIAL / BUSINESS PARK PERMISSIVE PRIMARY USE AS LIGHT MANUFACTURING

• TOTAL = $\pm 195,800 \text{ SF}$

 THE PROJECT HAS BEEN DEVELOPED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO). EFFECTIVE

BUILDING HEIGHT (IDO TABLE 2-5-3): ALLOWABLE MÀX: 65 FEET

• PROPOSED MAX HEIGHT: 32 FEET

PROJECT DESCRIPTION

COUNTY: BERNALILLO COUNTY

ADDRESS: 6625 BLUEWATER ROAD NW, ALBUQUERQUE, NM 87121

OWNER: AMERACE CORPORATION

• THE PROJECT IS CONSTRUCTING A NEW 90,000 SF BUILDING WITH ASSOCIATED PARKING. A NEW FIRE MAIN EXTENSION WILL ALSO BE CONSTRUCTED FOR THE NEW BUILDING. THE EXISTING SITE HAS 103,000 SF OF BUILDING COVERAGE. THE PROPOSED SITE WILL HAVE 192,000 SF

THE PROJECT WILL PROVIDE LANDSCAPE IMPROVEMENTS TO MEET AT LEAST CODE MINIMUM

 EGRESS AND INGRESS POINTS WILL REMAIN THE SAME A FIRE ACCESS LANE WILL BE PROVIDED FOR THE PROJECT.

A NEW 90,000 SF BUILDING IS PROPOSED FOR THE PROJECT.

• EXISTING PARKING SPACES THAT OVERLAP THE NEW BUILDING LOCATION WILL BE RELOCATED ON THE EASTERN PORTION OF THE PROJECT.

PARKING CALCULATIONS

PARKING DATA TABLE								
	DECLURED DED IDO	PRÓVIDED						
	REQUIRED PER IDO	EXISTING	NEW	TOTAL				
TOTAL PARKING	240	99	269	368				
ACCESSIBLE (8.5 X 20)	5	2	7	9 (2 VAN)				
MOTORCYCLE (4X8 MIN)	6	4	2	6				
BICYCLE (4X8)	20	0	20	20				
EV CHARGING	0	0	4	4				
LOADING SPACES (12X65, 10X25)	2	6 (12X65)	1 (10X25)	7				
REQUIRED SPACES	212	89	246	335				
STANDARD SIZES (8.5X18)	1 SPACE / 1,000 SF (F-1) = 186							
	2.5* SPACE / 1,000 SF (B) = 26							

*REDUCED FROM 3.5 TO 2.5 DUE TO 600' FROM MAIN CORRIDOR

AREA OF PROPOSED IMPROVEMENTS

EXISTING CONSTRUCTION TO REMAIN AND BE PROTECTED

REFER TO DETAILED SITE PLAN (SHEET C2.1) FOR DETAILED CALLOUTS

Sheet Number Sheet Title OVERALL SITE PLAN C1.0 C1.1 DETAILED SITE PLAN DETAILED SITE PLAN (OFFSITE) C1.2 C1.3 SITE PLAN DETAILS C2.0 SOLID WASTE PLAN C3.0 CONCEPT TRAFFIC CIRCULATION LAYOUT C3.1 SITE TRIANGLES AND DETAILS SHEET F1 FIRE 1 PLAN D1 CONCEPTUAL EXISTING DRAINAGE EXHIBIT CONCEPTUAL GRADING & DRAINAGE PLAN D2 D3 HYDROLOGY DATA C4.0 PRIVATE UTILITY PLAN C5.0 OVERALL LANDSCAPE PLAN C5.1 DETAILED LANDSCAPE PLAN C5.2 DETAILED LANDSCAPE PLAN DETAILED LANDSCAPE PLAN C5.3 DETAILED LANDSCAPE PLAN C5.4 C5.5 LANDSCAPE NOTES C5.6 LANDSCAPE DETAILS C5.7 LANDSCAPE DETAILS

VICINITY MAP - ZONE ATLAS PAGES: K-10-Z & J-10-Z

Sheet List Table SITE PHOTOMETRICS E1.01 A1.0 BUILDING ELEVATIONS

SPECIFIC USES FOR PARKING:

FOR F-1

FOR B.

2. OFFICE (B)

1. LIGHT MANUFACTURING (F-1)

1.1. 186 SPACES ARE RÈQUIRED

2.1. 26 SPACES ARE REQUIRED

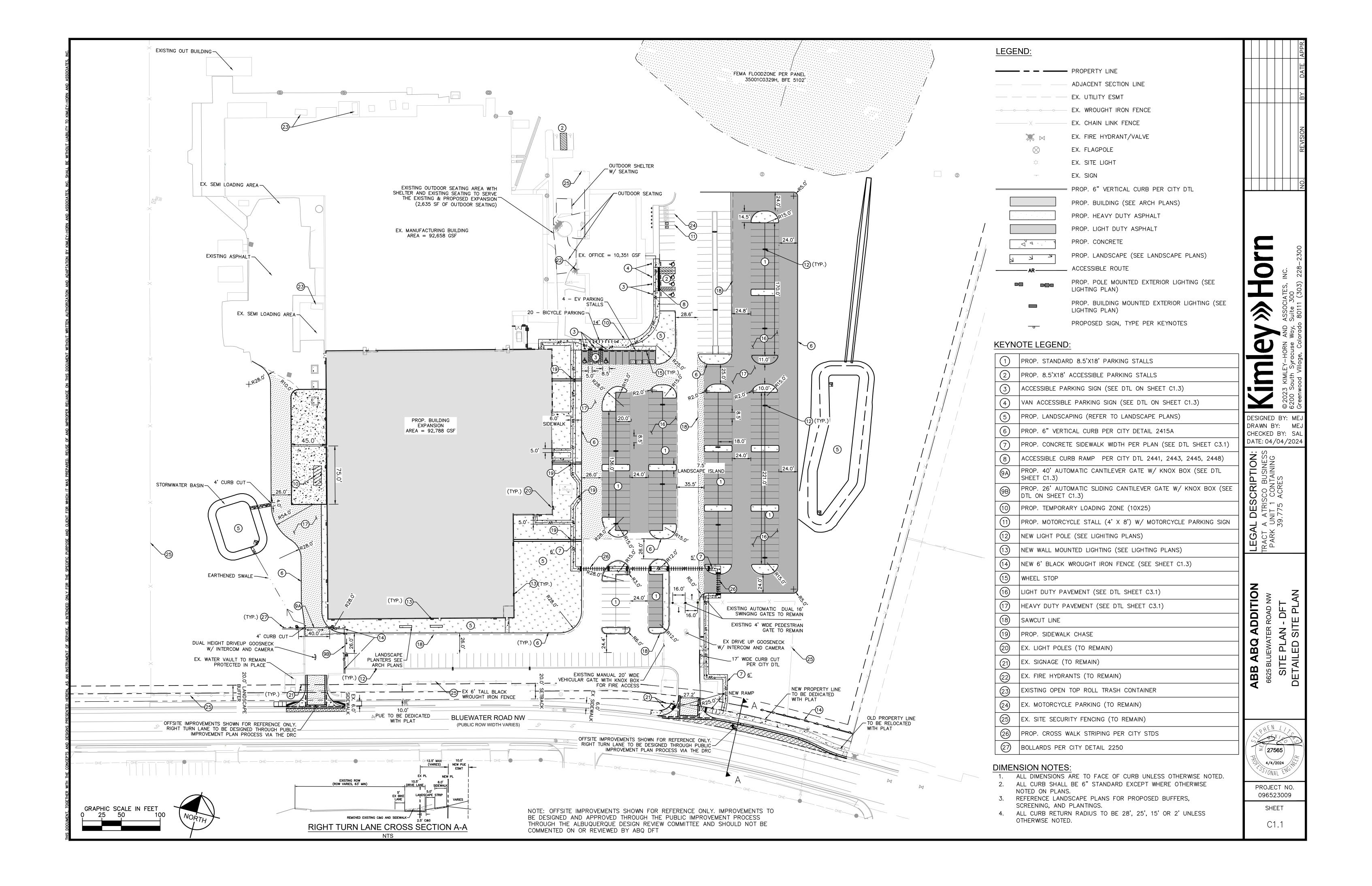
DESIGNED BY: ME DRAWN BY: ME CHECKED BY: SA DATE: 04/04/2024 AL DESCRIPTION
T A ATRISCO BUSINES
RK UNIT 1 CONTAINING
39.775 ACRES

> ROAD NW
> - DFT
> TE PLAN DDITIO 6625 BLUEWATER F SITE PLAN -OVERALL SITE ABB

27565 4/4/2024 ONAL

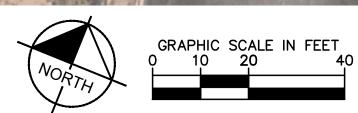
PROJECT NO. 096523009 SHEET

C1.0





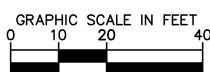
WBL BLUEWATER ROAD NW & UNSER BLVD NW NW LEFT TURN STRIPING





EBL BLUEWATER ROAD NW & COORS BLVD NW LEFT TURN STRIPING *FOR REFERENCE ONLY*





NOTE: OFFSITE IMPROVEMENTS SHOWN FOR REFERENCE ONLY. IMPROVEMENTS TO BE DESIGNED AND APPROVED THROUGH THE PUBLIC IMPROVEMENT PROCESS THROUGH THE ALBUQUERQUE DESIGN REVIEW COMMITTEE AND SHOULD NOT BE COMMENTED ON OR REVIEWED BY ABQ DFT

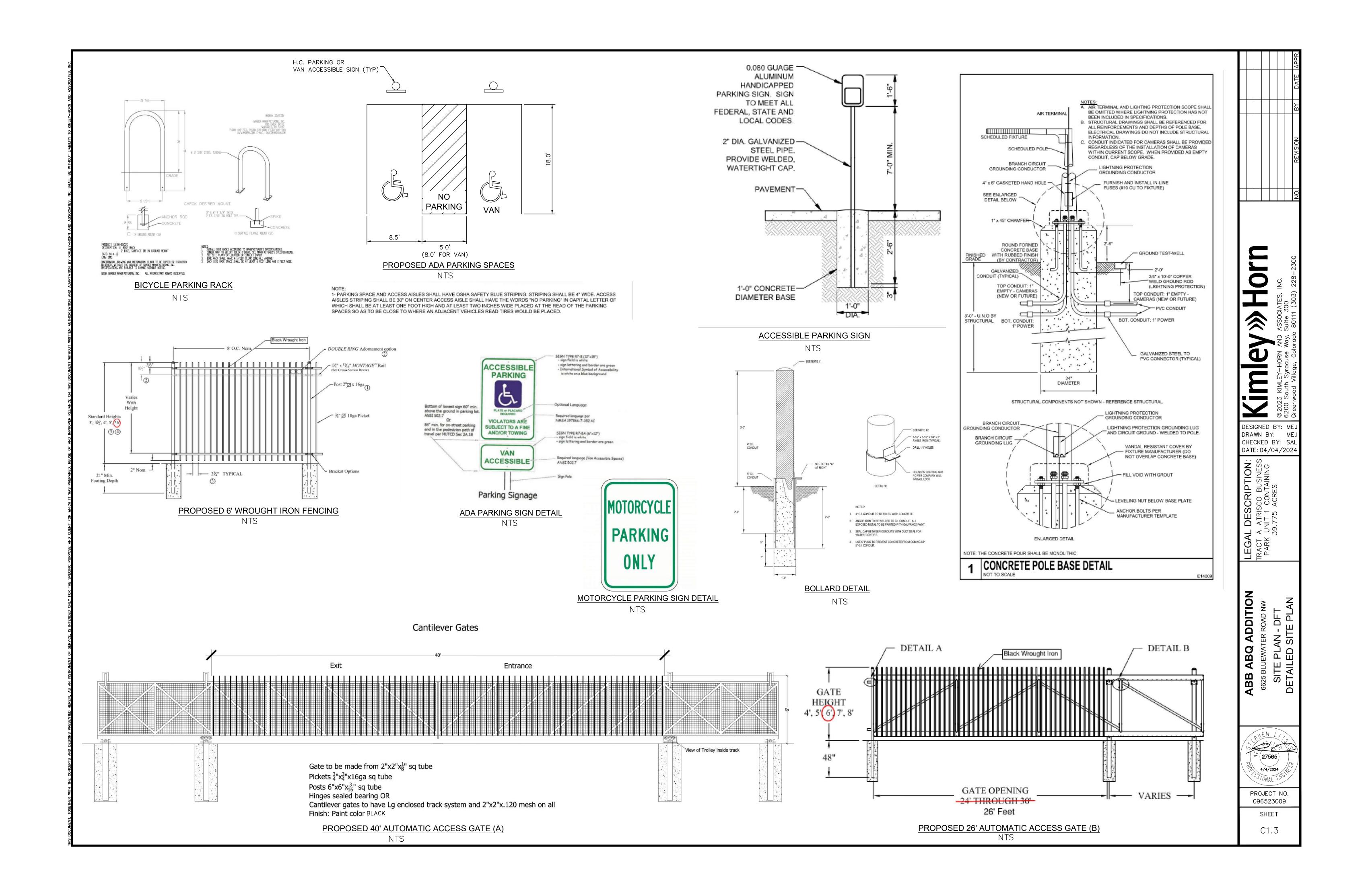
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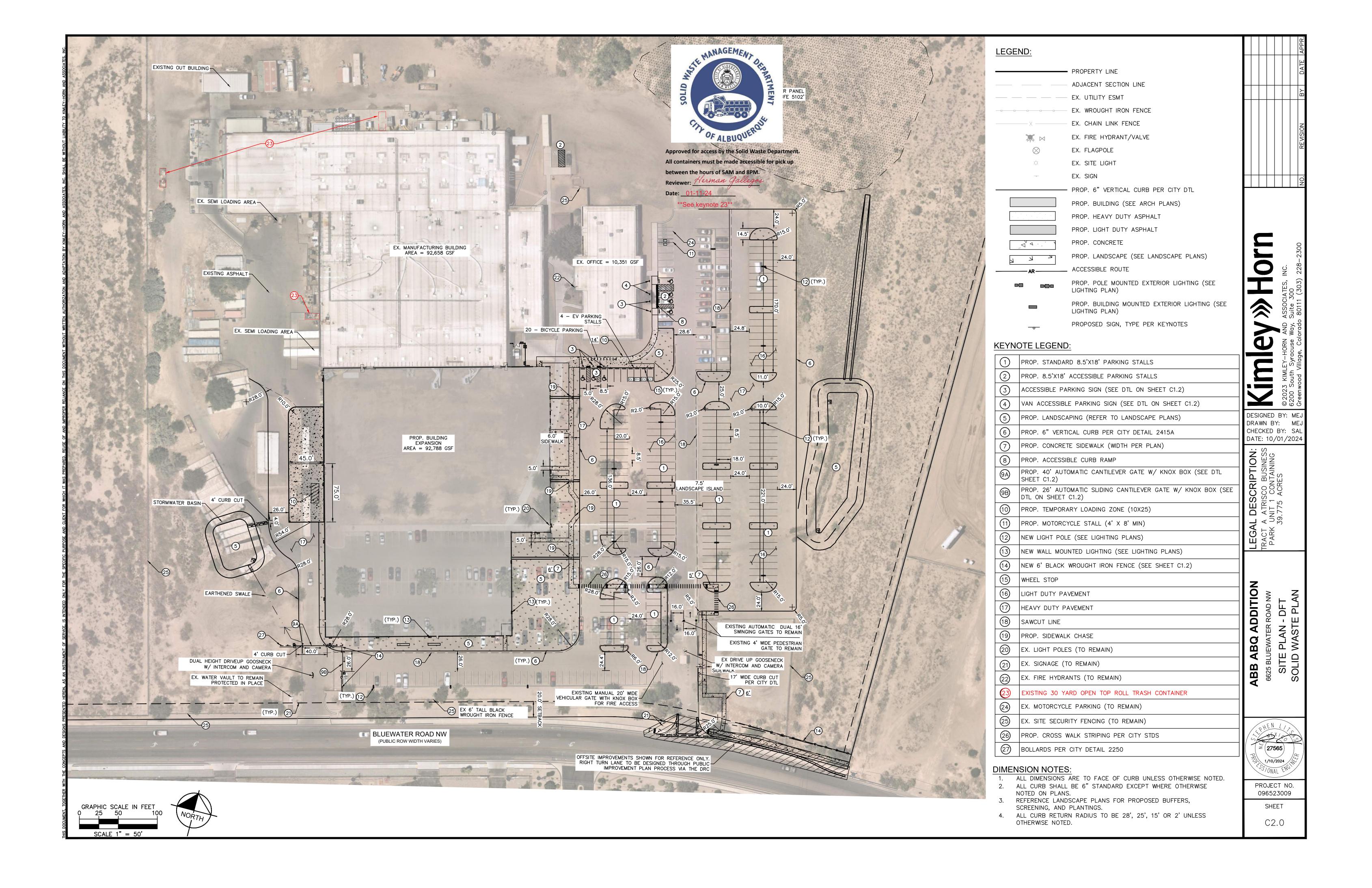
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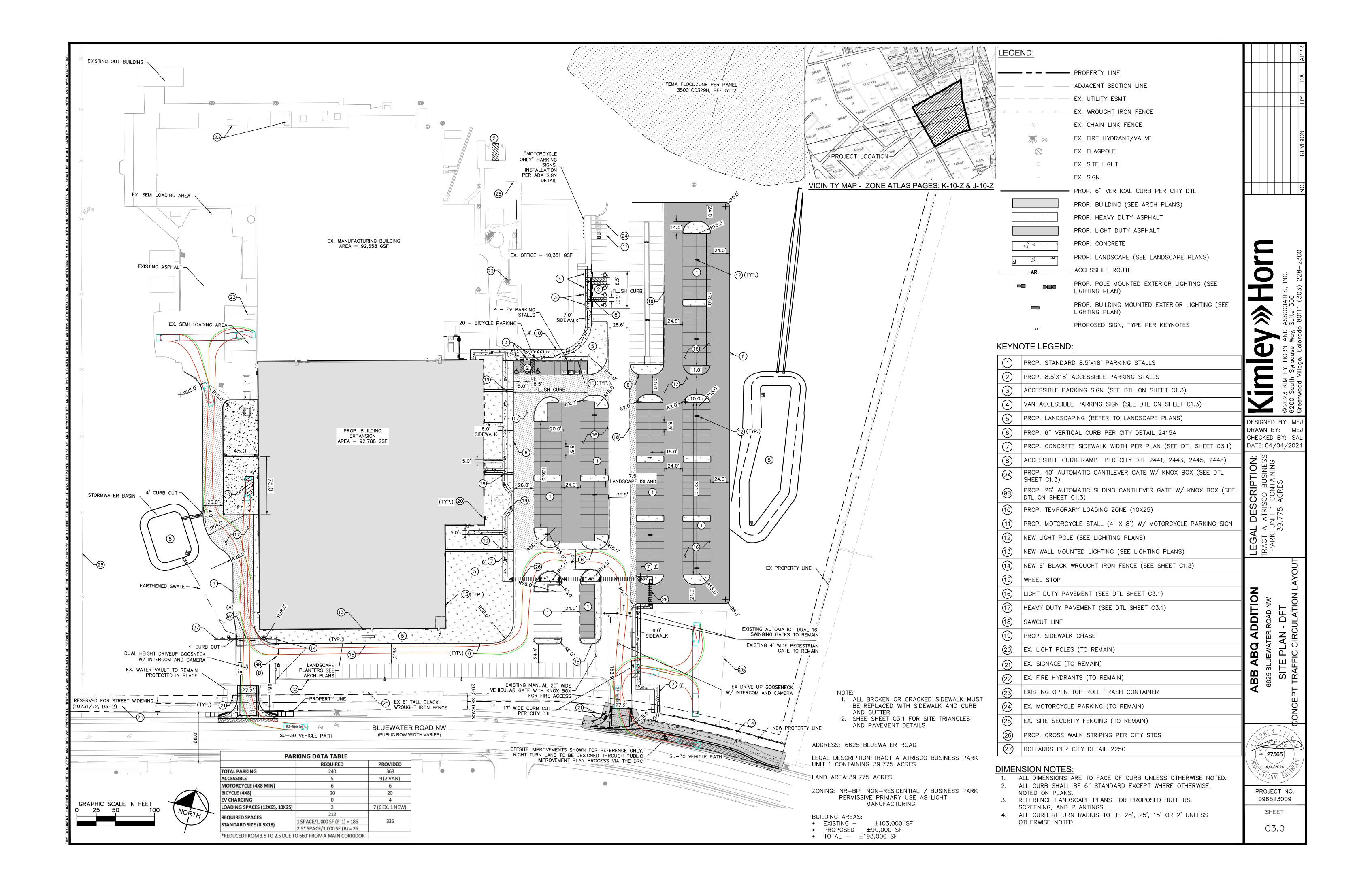
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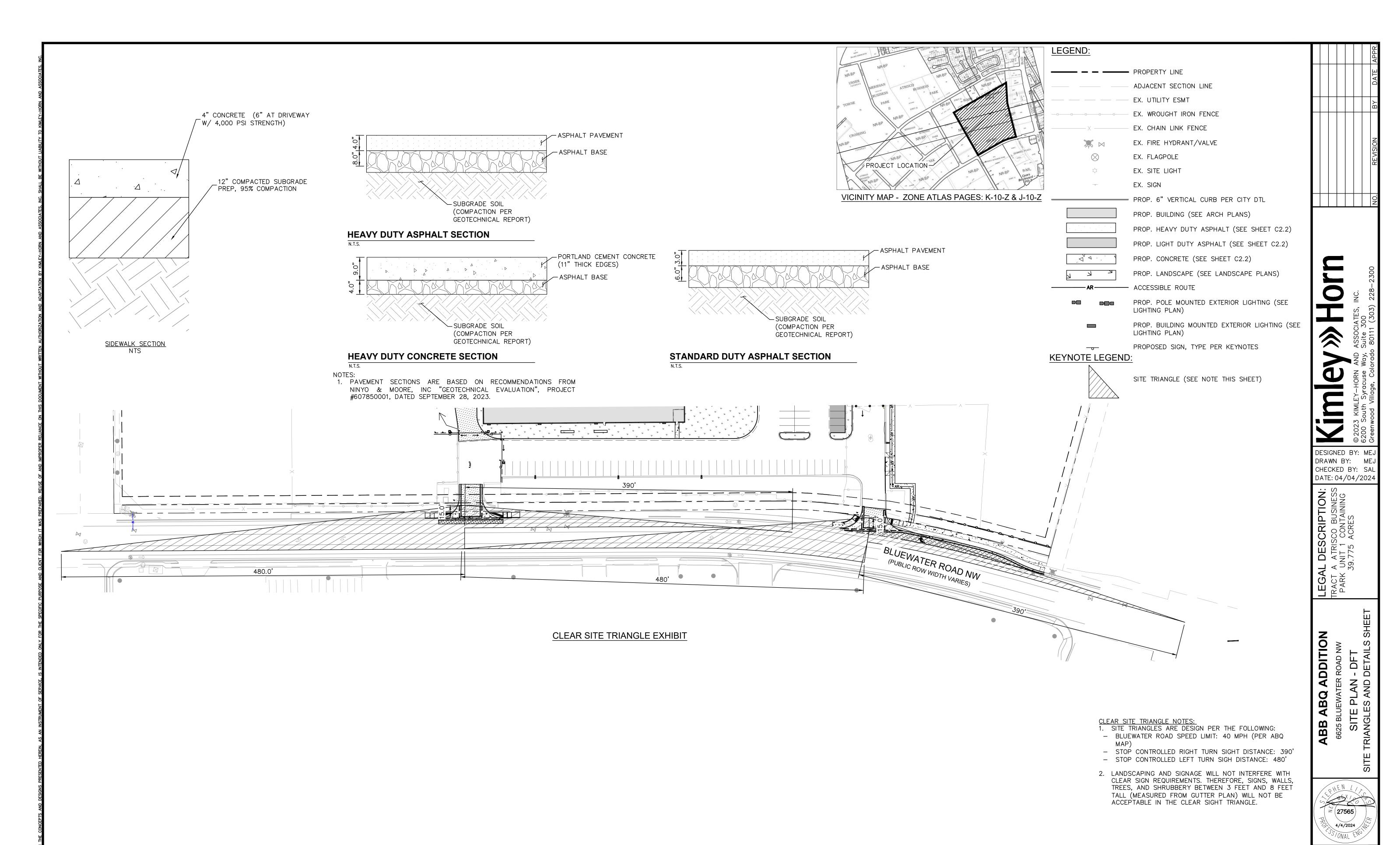
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C1.2



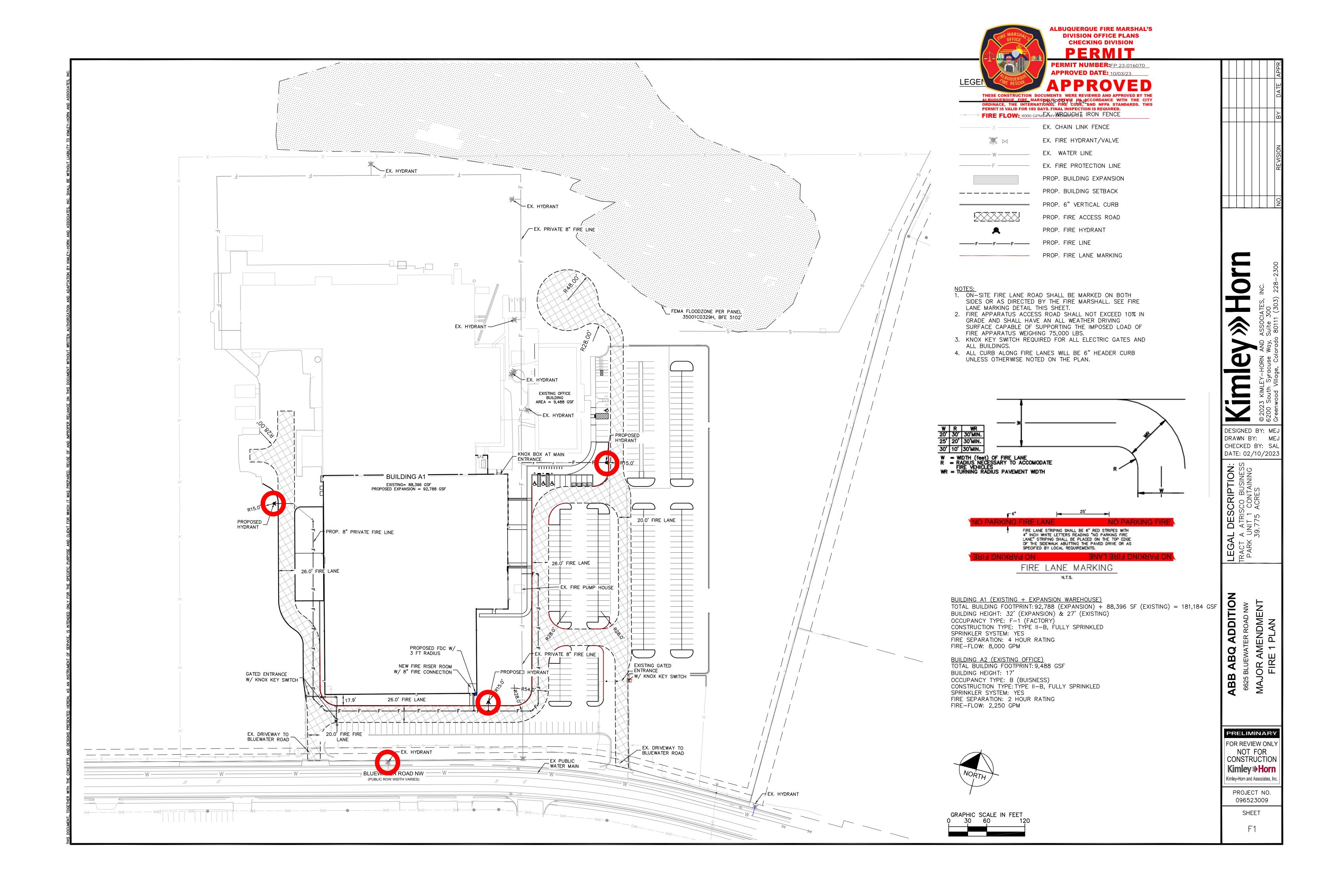


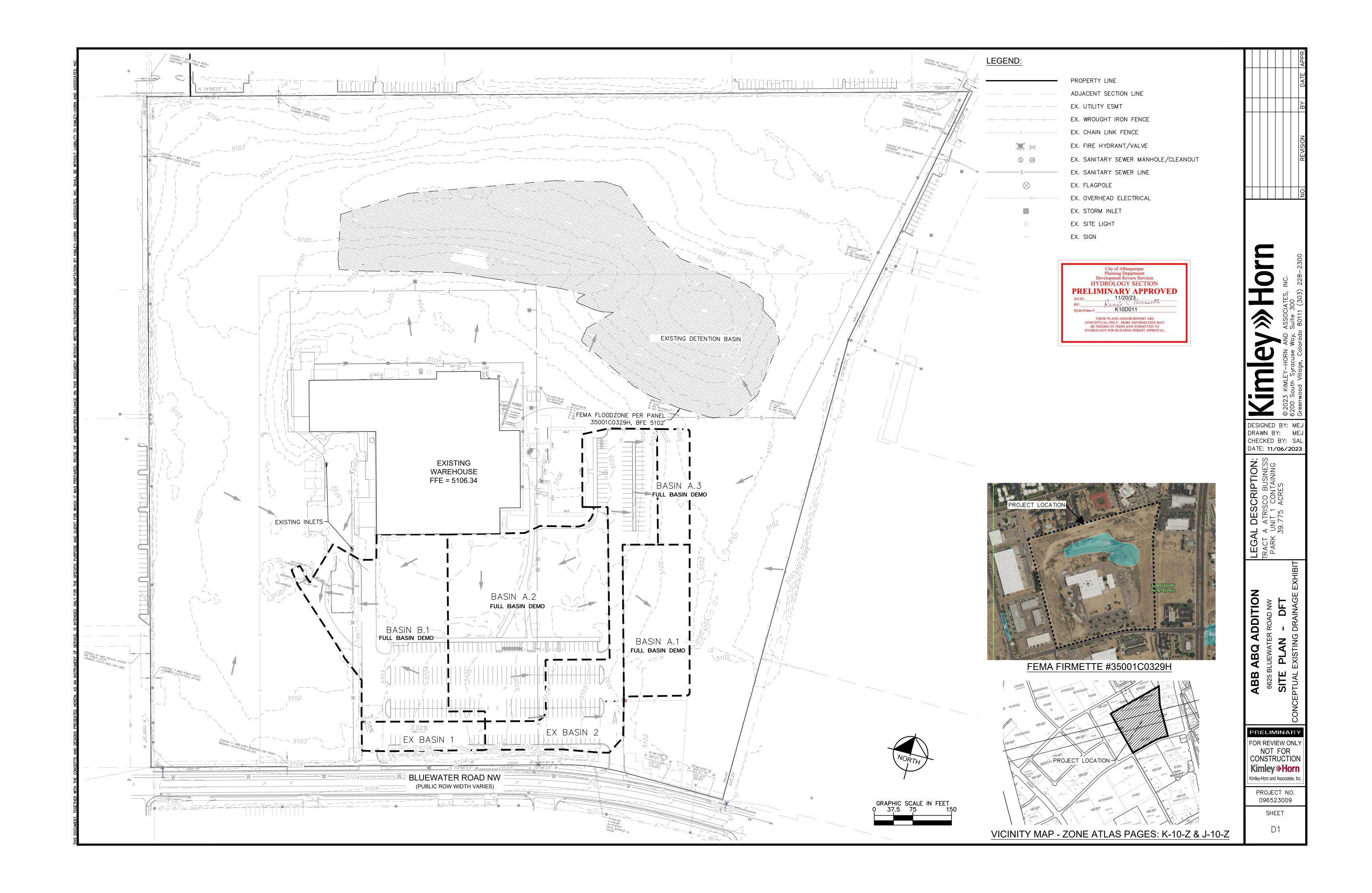


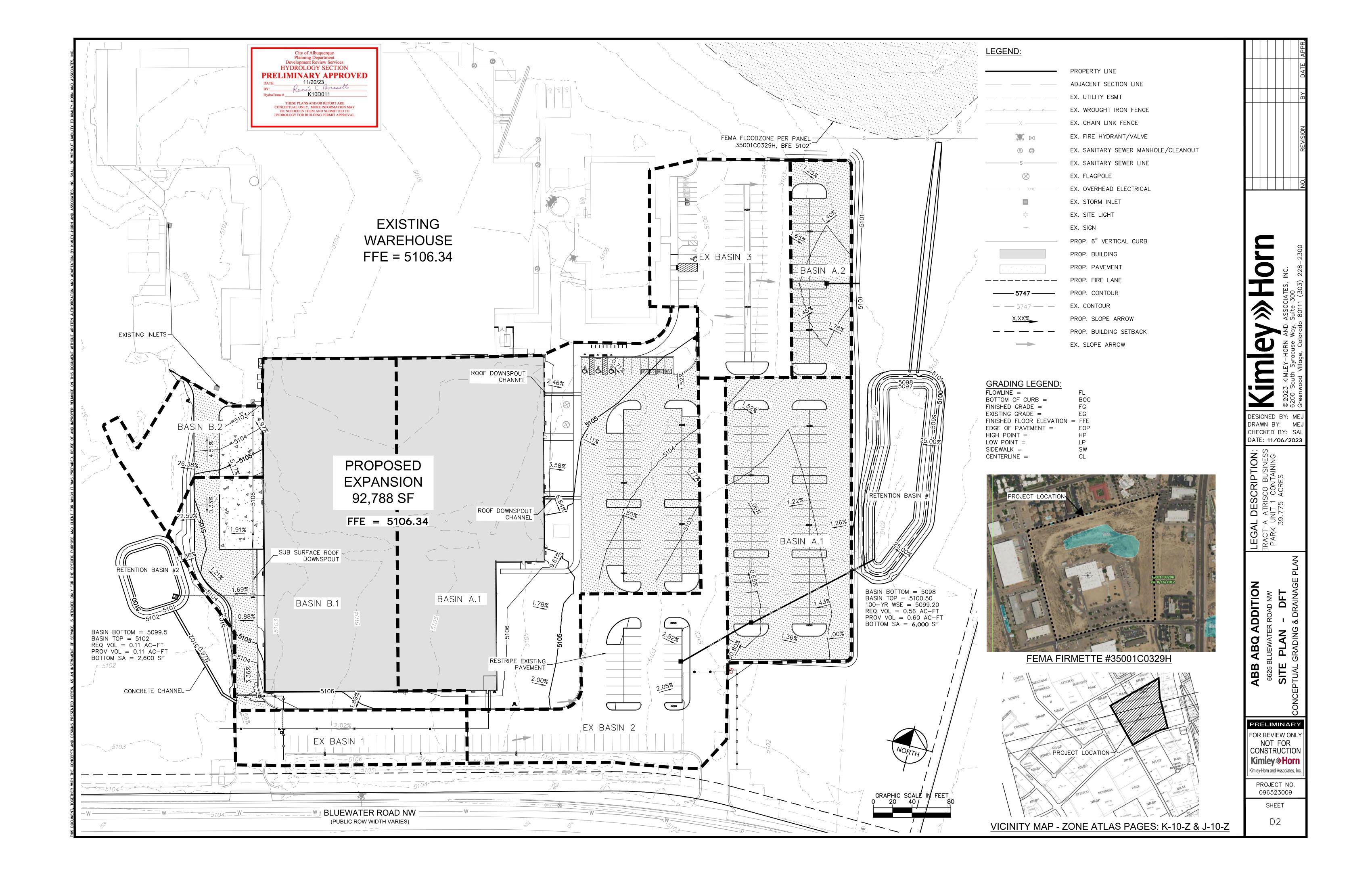


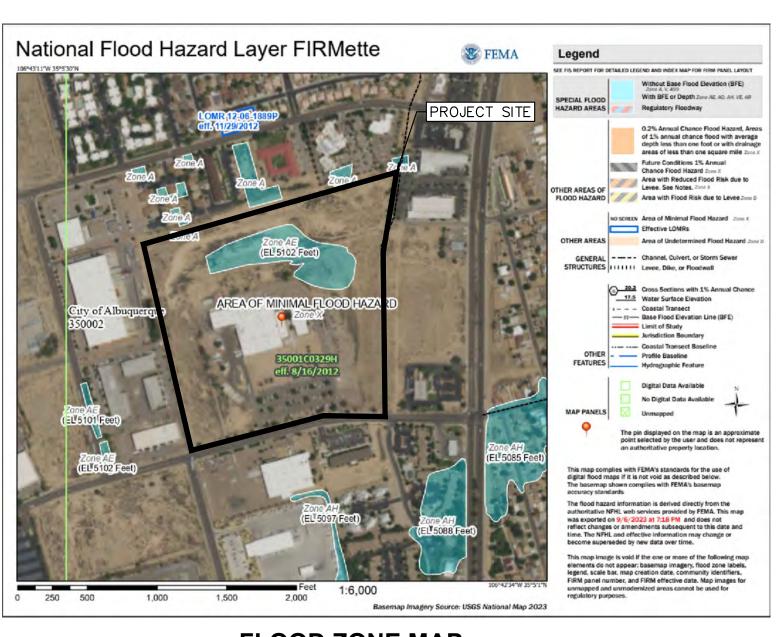
GRAPHIC SCALE IN FEET 0 25 50 10 PROJECT NO. 096523009 SHEET

C3.1

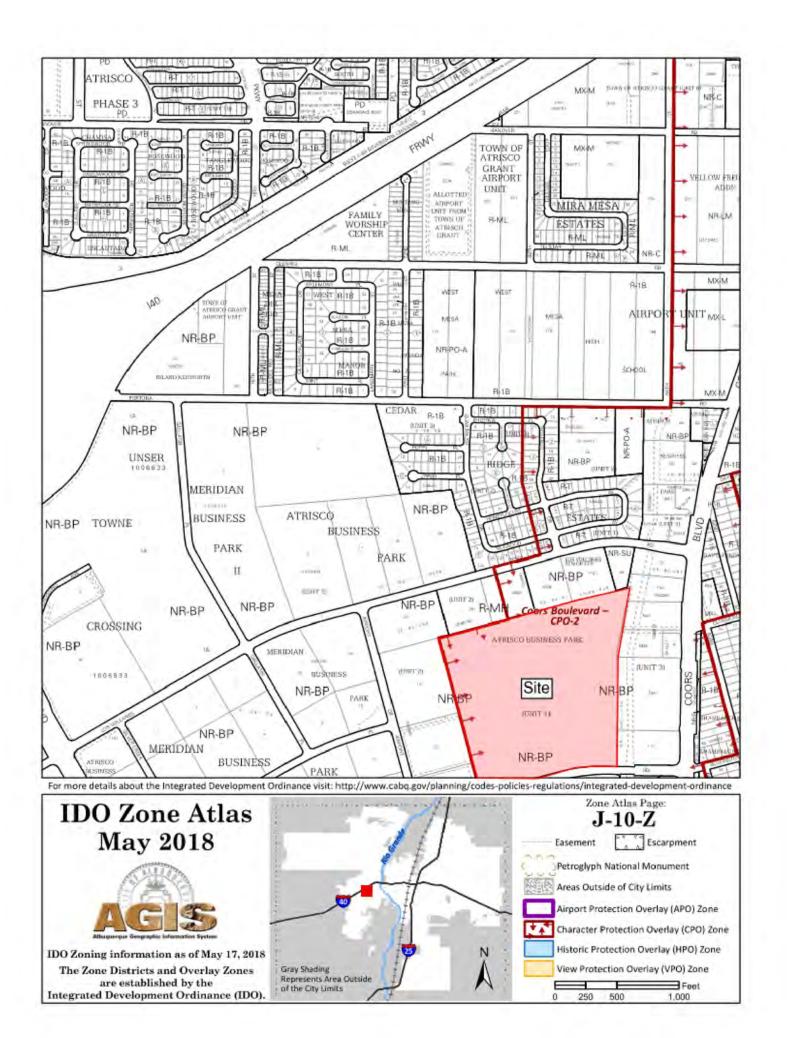








FLOOD ZONE MAP
FIRM PANEL: 35001C0329H



ZONING MAP

J-10-Z

DRAINAGE REPORT

SITE LOCATION

THE PROPOSED PROJECT IS LOCATED ON APPROXIMATELY A 37.97-ACRE SITE. THE SITE IS 800 FEET WEST FROM W COORS BLVD

EXISTING CONDITIONS

THE SITE IS PARTIALLY DEVELOPED WITH AN EXISTING APPROX. 90,000 GSF MANUFACTURING WAREHOUSE, ADMINISTRATIVE OFFICE, PAVED AND GRAVEL PARKING LOT, LANDSCAPED OPEN SPACE AND PATHWAYS. THERE IS AN EXISTING AE FLOODZONE ONSITE WITH A BFE OF 5102. SITE RUNOFF IS CURRENTLY CONVEYED TO THE EXISTING FLOODZONE WHICH SERVES AS A RETENTION BASIN. SURFACE RUNF FOO FLOWS AND CONCENTRATED FLOWS TO THE RETENTION BASIN. THE EXISTING RETENTION BASIN AND FLOODZONE WILL REMAIN UNTOUCHED.

PROPOSED CONDITIONS

THE PROPOSED PROJECT WILL RESULT IN A NEW 90,000 GSF WAREHOUSE AND NEW PORTIONS OF PAVED PARKING. AREAS OF EXISTING PAVEMENT AND DEVELOPED LAWN AREA WILL BE REPLACED WITH THE NEW BUILDING FOOTPRINT. THE NEW PAVED PARKING AREAS WILL REPLACE LOCATIONS OF EXISTING LAWN AND GRAVEL SURFACES. THE PROJECT WILL PRODUCE A NET INCREASE OF IMPERVIOUS AREA ASSOCIATED WITH THE EXPANSION. RUNOFF WILL SHEET FLOW EAST OR WEST WHERE IT WILL FOLLOW HISTORIC DRAINAGE PATTERNS. TWO NEW WATER HARVESTING BASINS (RETENTION BASIN #1 AND #2) ARE PROPOSED TO DETAIN THE NET INCREASE OF REQUIRED 100—YEAR 10—DAY DETENTION VOLUME AS TO NOT INCREASE THE VOLUME OF WATER TRIBUTARY TO THE EXISTING RETENTION BASIN/FLOODZONE. FLOWS EXCEEDING THE NEW RETENTION POND STORAGE VOLUME WILL BYPASS THE BASIN AND CONTINUE TO THE EXISTING RETENTION POND. FLOWS WILL INFILTRATE INTO NATIVE SOILS PER THE 2020 DPM PERCOLATION RATES.

CONCLUSIONS

WHEN DEVELOPED AS INDICATED ON THE GRADING AND DRAINAGE PLAN, THE INCREASE RUNOFF FROM THE SITE IS ESTIMATED AT 4.04 CFS. THE NET INCREASE WILL RESULT IN APPROXIMATELY 0.67 CU FT OF RETENTION VOLUME FOR THE 100—YEAR 10—DAY VOLUME. BASIN #1 WILL PROVIDE VOLUME FOR 0.56 AC—FT OF 100—YEAR 10—DAY STORAGE, AND BASIN #2 WILL PROVIDE 0.11 AC—FT OF STORAGE. BASIN BOTTOM SURFACE AREAS ARE DESIGNED SUCH THAT FLOWS WILL INFILTRATE IN THE 96 HOUR DRAIN TIME.

HYDROLOGY CALCULATIONS

BASIN #1		Land Treat	ment (Table 6	5.2.13)	Total Acerage	Ew	V(100-10day)	Q(100)
	А	В	С	D	(ac)	(in)	ac-ft	cfs
Existing Conditions	0	1.49	1.18	0.88	1.18	2.03	0.48	10.26
Proposed Conditions	0	0.5	0	3.05	3.05	1.18	1.04	13.65
DELTA					***		0.56	3.39

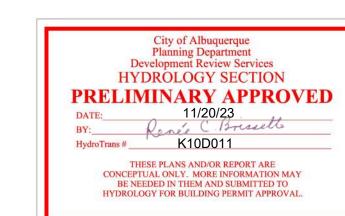
BASIN #2		Land Treatn	nent (Table	6.2.13)	Total Acerage	Ew	V(100-10day)	Q(100)
	А	В	C	D	(ac)	(in)	ac-ft	cfs
Existing Conditions	0	0.73	0	1.00	1.73	1.96	0.38	5.85
Proposed Conditions	0	0.32	0	1.41	1.73	1.60	0.49	6.50
DELTA							0.11	0.65

		Danie Time Charle				
Volume		Percolation Rate*	Pond Bottom	Drain Time	Drain Time Check	
Pond		inches/hr	Sq. Ft.	hr	96 Hour Max	
#1	24,394	0.83	6,000	59	Meets Required Drain Tim	

Pond Volume 0.56 ac-ft

Drain Time Check	Retention Pond Drain Time						
	Drain Time	Pond Bottom	Percolation Rate*	Volume	Dand		
96 Hour Max	hr	Sq. Ft.	inches/hr	cf	Pond		
Meets Required Drain Time	27	2,600	0.83	4,792	#2		

Pond Volume 0.11 ac-ft



2023 KIMLEY-HORN AND ASSOCIATES, INC.
200 South Syracuse Way, Suite 300
eenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MED DRAWN BY: MED CHECKED BY: SAL DATE: 11/06/2023

EGAL DESCRIPTION:
RACT A ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

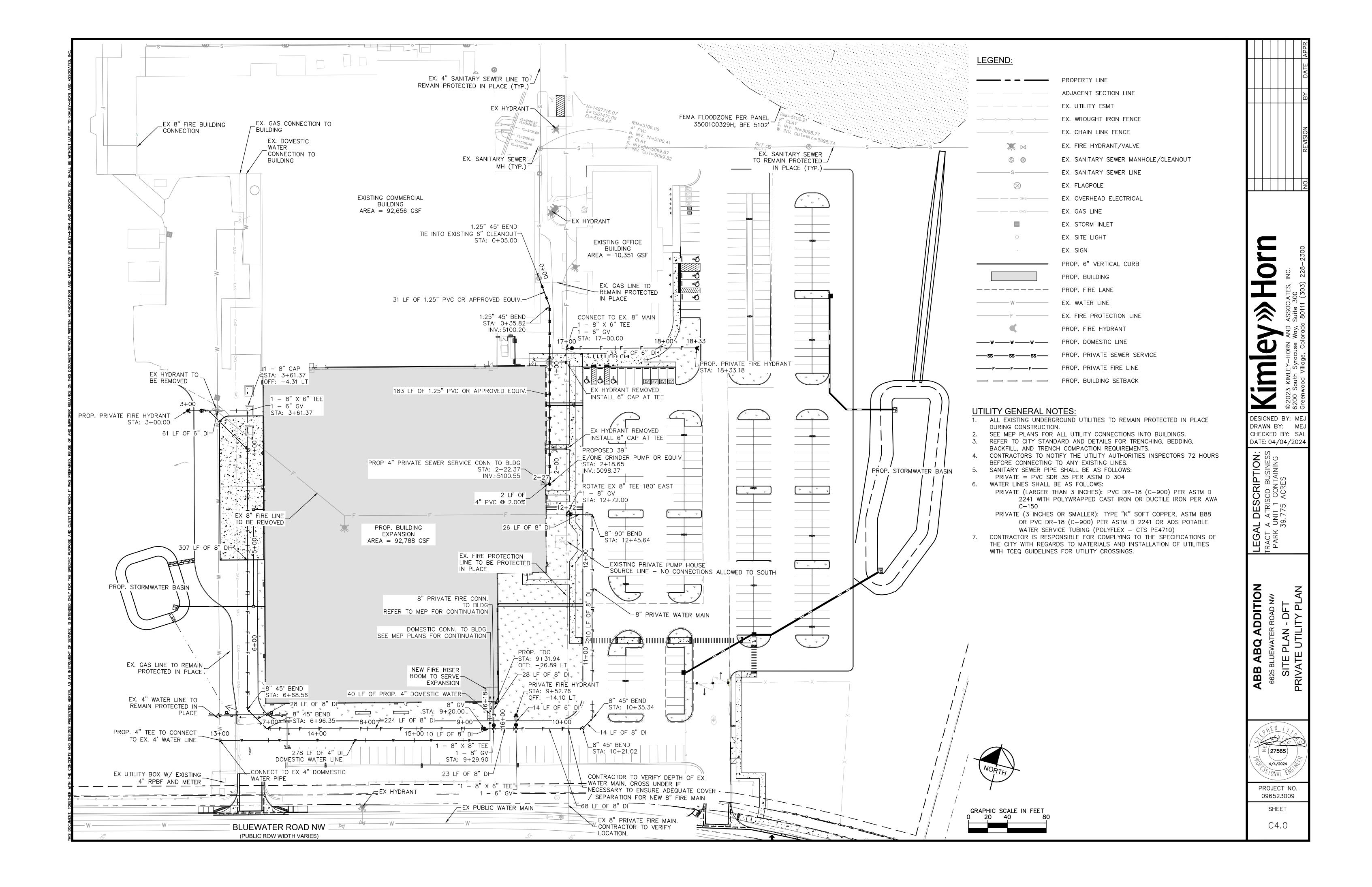
ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
SITE PLAN - DFT
HYDROLOGY DATA

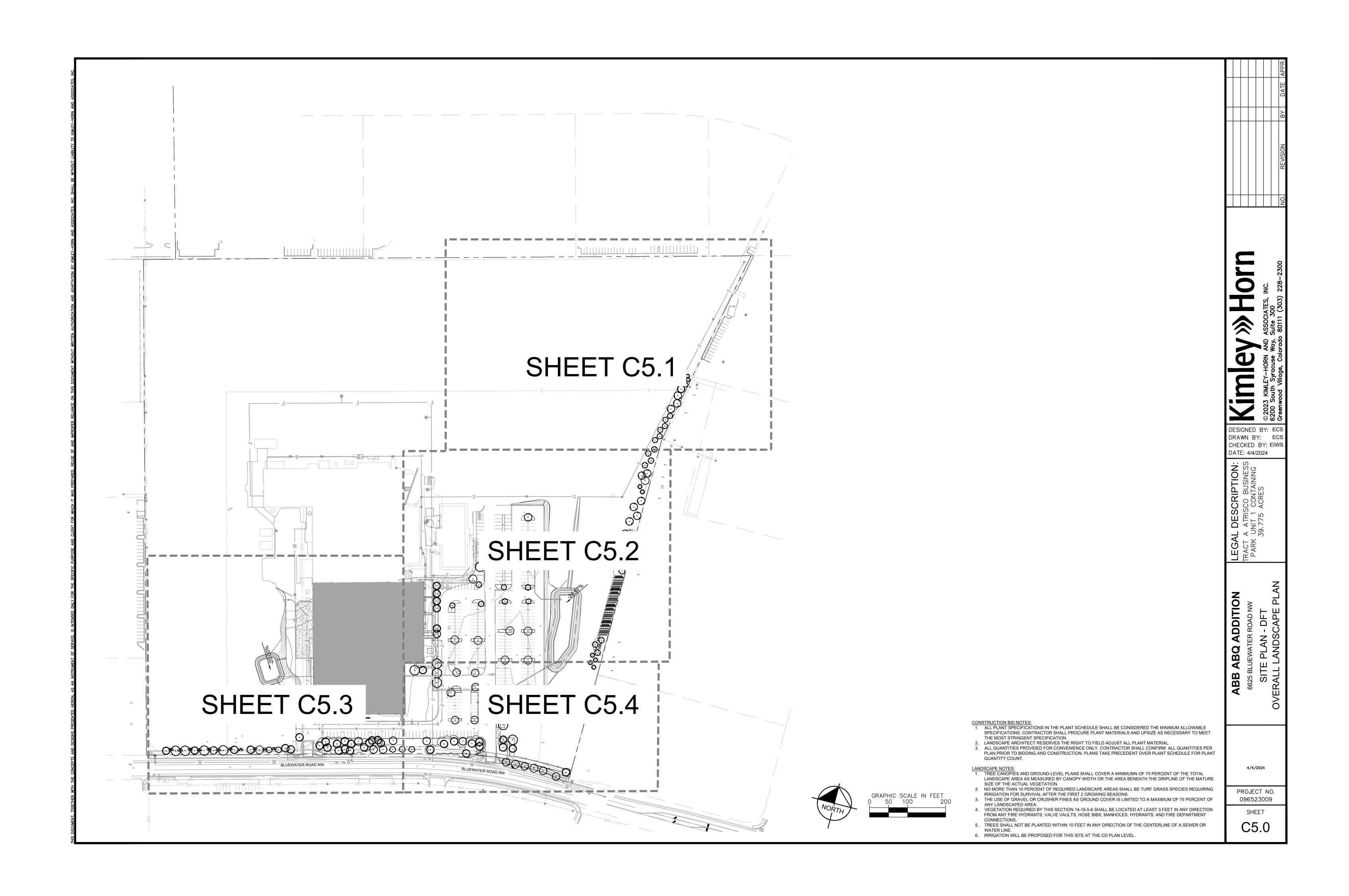
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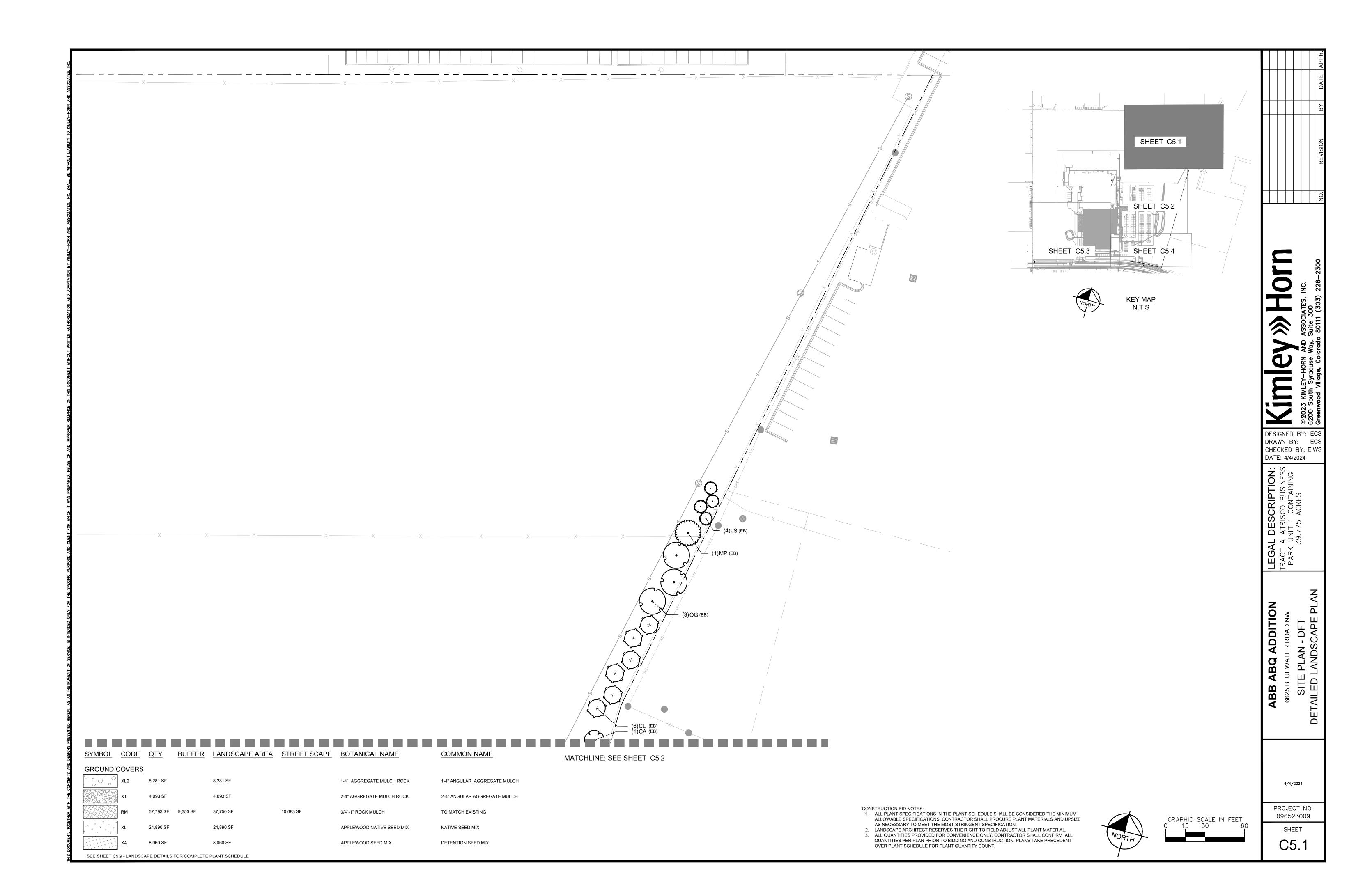
CONSTRUCTION
Kimley» Horn
Kimley-Horn and Associates, Inc
PROJECT NO.

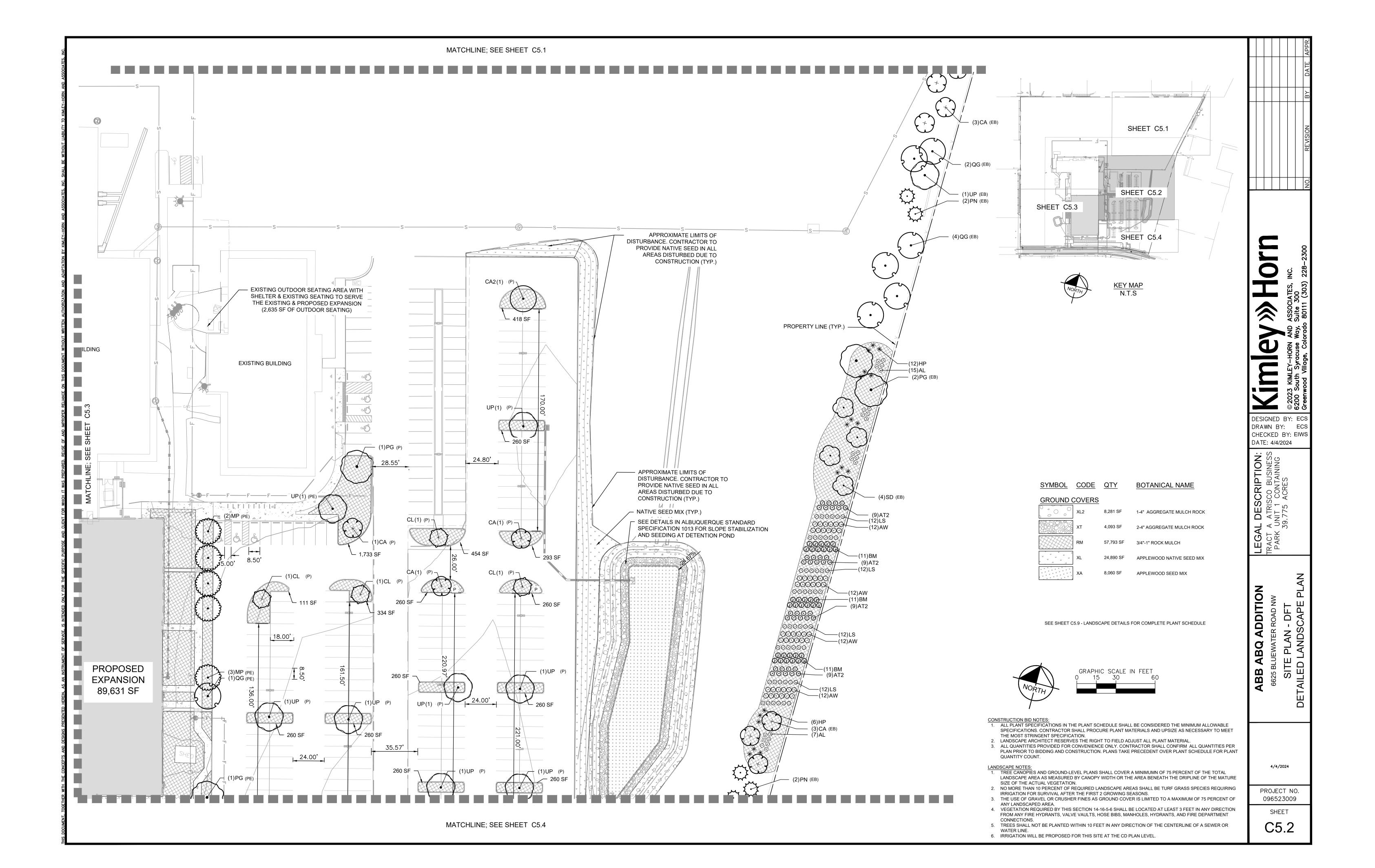
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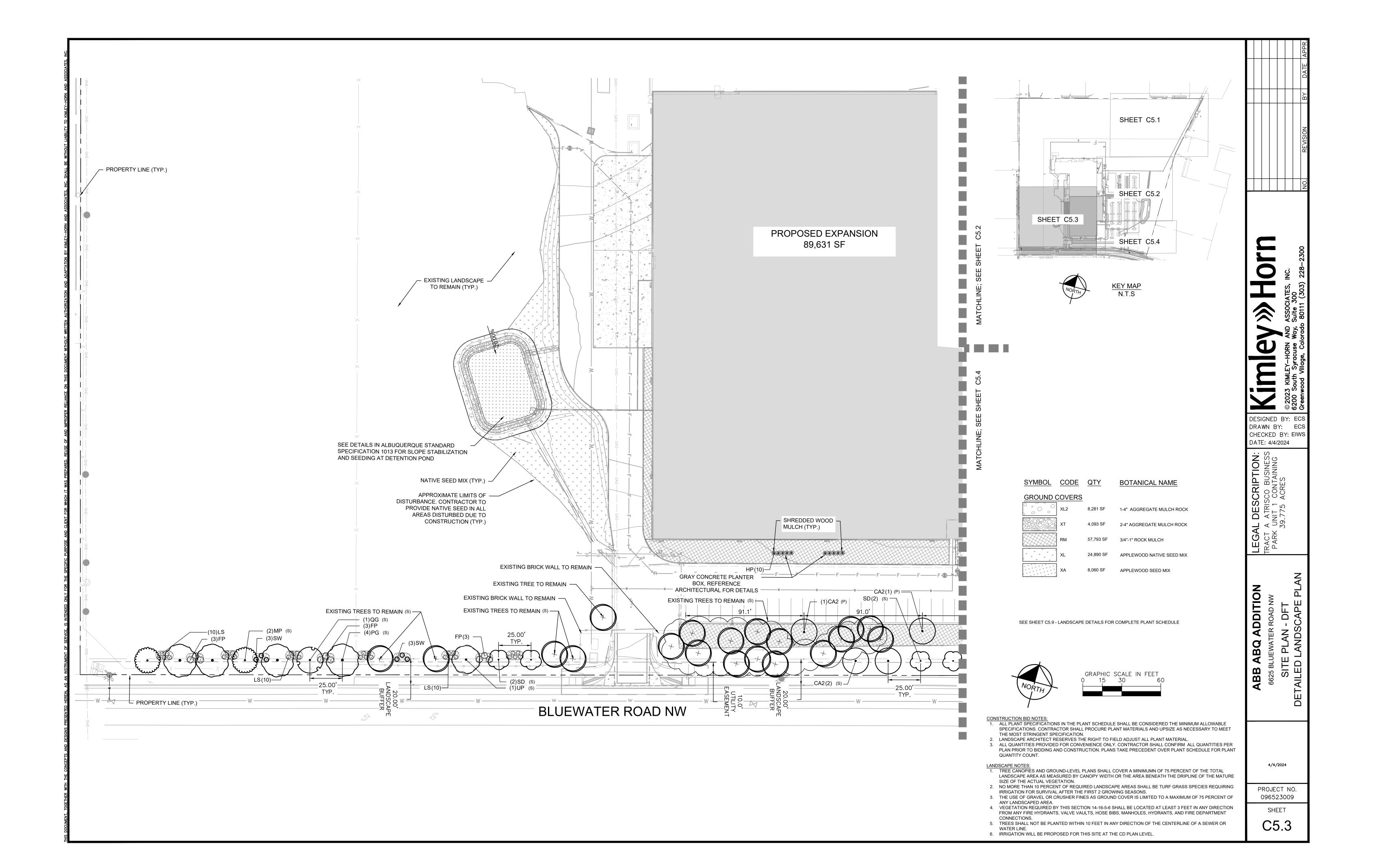
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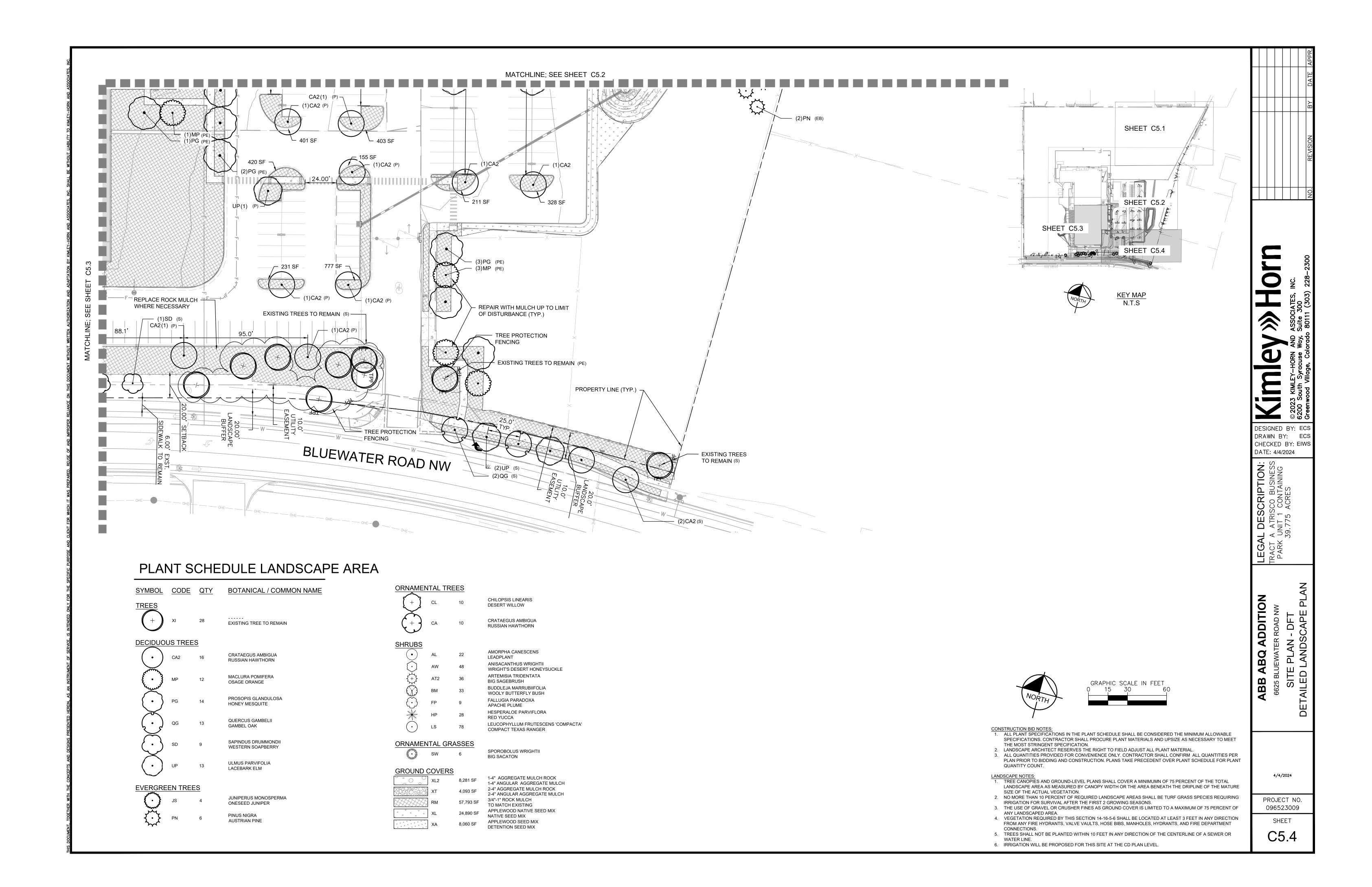


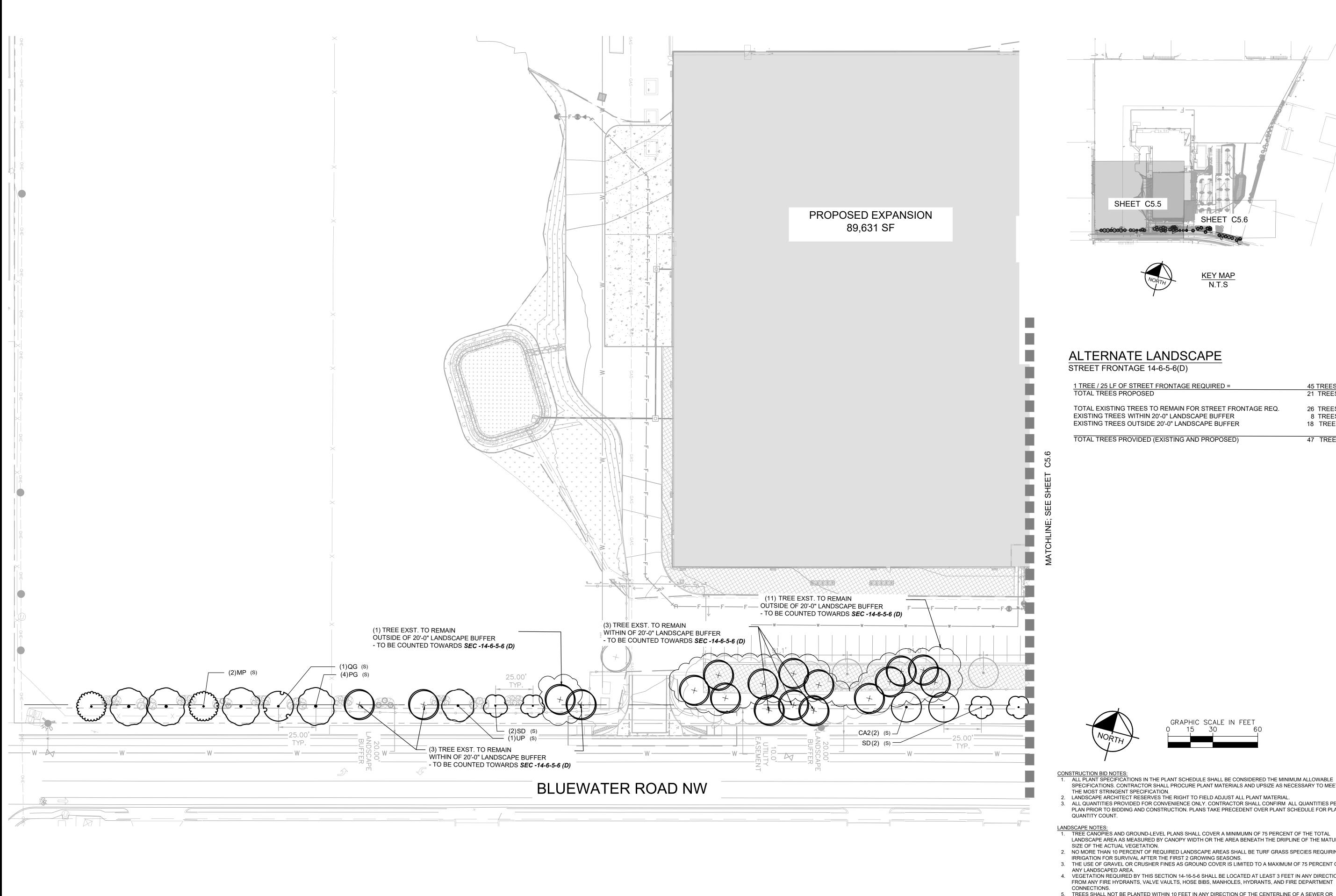


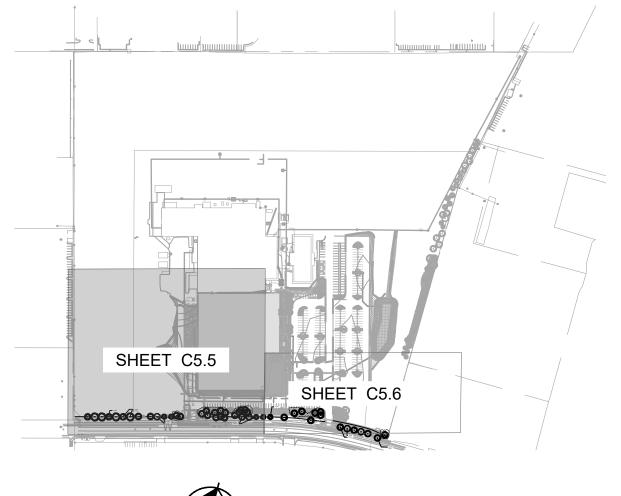






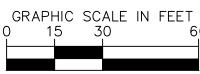






ALTERNATE LANDSCAPE

1 TREE / 25 LF OF STREET FRONTAGE REQUIRED = TOTAL TREES PROPOSED	45 TREES 21 TREES
TOTAL EXISTING TREES TO REMAIN FOR STREET FRONTAGE REQ. EXISTING TREES WITHIN 20'-0" LANDSCAPE BUFFER EXISTING TREES OUTSIDE 20'-0" LANDSCAPE BUFFER	26 TREES 8 TREES 18 TREES
TOTAL TREES PROVIDED (EXISTING AND PROPOSED)	47 TREES



- SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET
- THE MOST STRINGENT SPECIFICATION.

 2. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.

 3. ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER
- PLAN PRIOR TO BIDDING AND CONSTRUCTION. PLANS TAKE PRECEDENT OVER PLANT SCHEDULE FOR PLANT

TREE CANOPIES AND GROUND-LEVEL PLANS SHALL COVER A MINIMUMN OF 75 PERCENT OF THE TOTAL

- LANDSCAPE AREA AS MEASURED BY CANOPY WIDTH OR THE AREA BENEATH THE DRIPLINE OF THE MATURE SIZE OF THE ACTUAL VEGETATION.

 2. NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING
- 3. THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF
- 4. VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT
- 5. TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- 6. IRRIGATION WILL BE PROPOSED FOR THIS SITE AT THE CD PLAN LEVEL.

DRAWN BY: ECS CHECKED BY: EIW

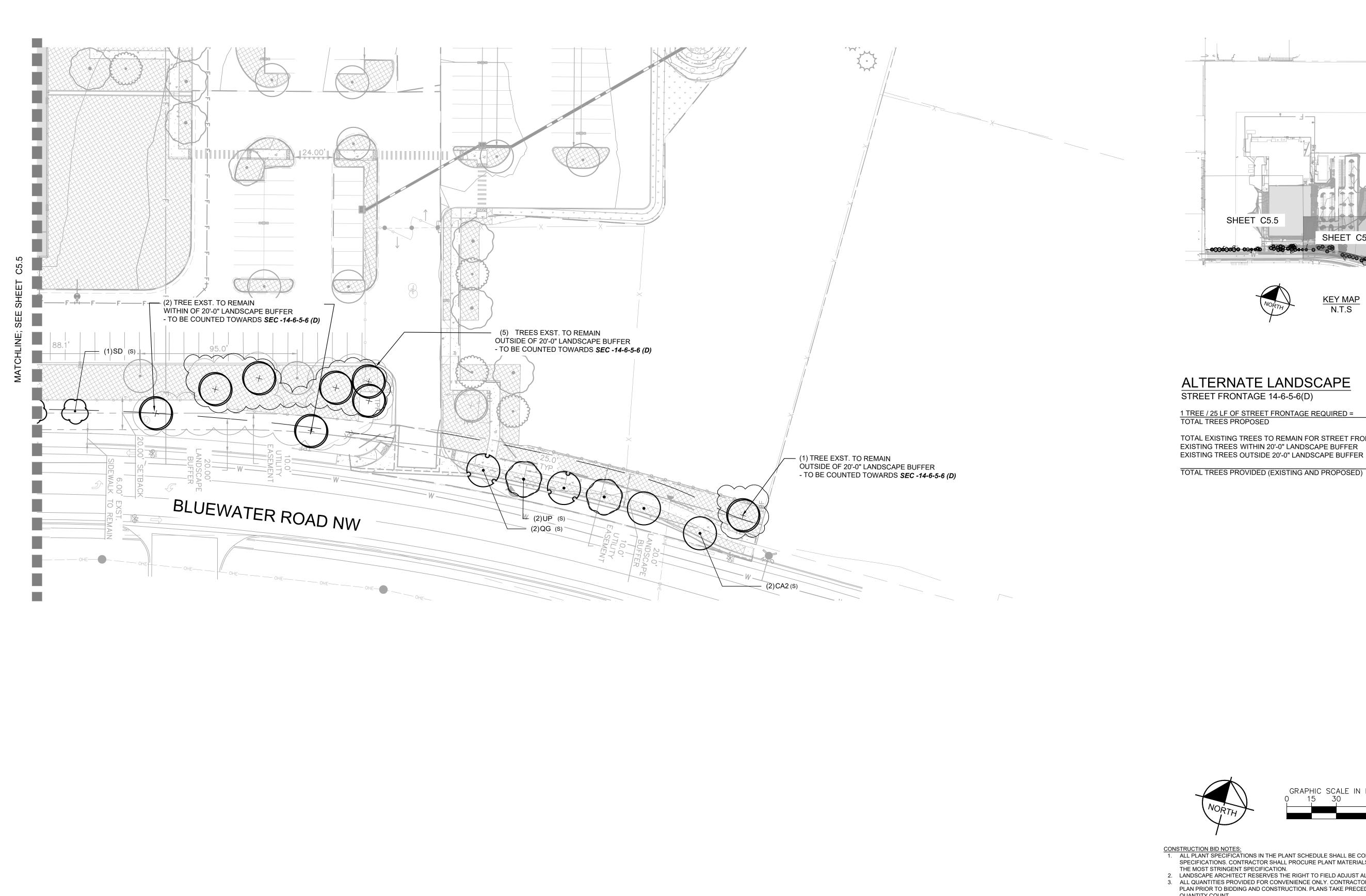
DATE: 4/4/2024 **..** SS 5 LEGAL DESCRIPTION
TRACT A ATRISCO BUSINES
PARK UNIT 1 CONTAINING
39.775 ACRES

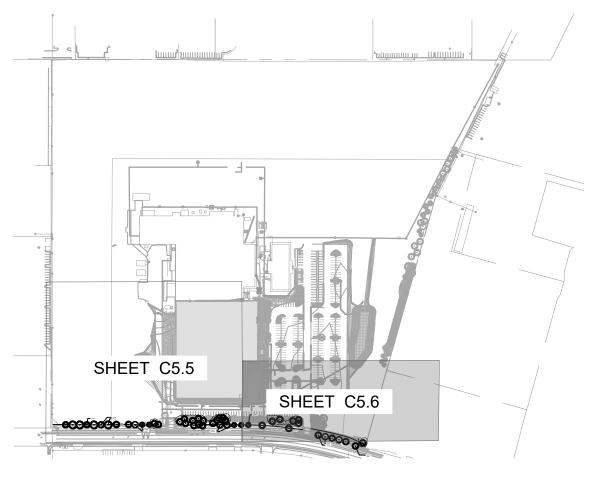
ABB ABQ ADDITION
6625 BLUEWATER ROAD NW

4/4/2024

PROJECT NO. 096523009

SHEET C5.5





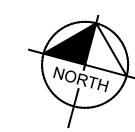


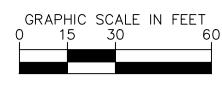


ALTERNATE LANDSCAPE

STREET FRONTAGE 14-6-5-6(D)

1 TREE / 25 LF OF STREET FRONTAGE REQUIRED = TOTAL TREES PROPOSED	45 TREES 21 TREES
TOTAL EXISTING TREES TO REMAIN FOR STREET FRONTAGE REQ. EXISTING TREES WITHIN 20'-0" LANDSCAPE BUFFER EXISTING TREES OUTSIDE 20'-0" LANDSCAPE BUFFER	26 TREES 8 TREES 18 TREES
TOTAL TREES PROVIDED (EXISTING AND PROPOSED)	47 TREES





- CONSTRUCTION BID NOTES:

 1. ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET
- THE MOST STRINGENT SPECIFICATION.

 2. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.

 3. ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION. PLANS TAKE PRECEDENT OVER PLANT SCHEDULE FOR PLANT

- LANDSCAPE NOTES:

 1. TREE CANOPIES AND GROUND-LEVEL PLANS SHALL COVER A MINIMUMN OF 75 PERCENT OF THE TOTAL LANDSCAPE AREA AS MEASURED BY CANOPY WIDTH OR THE AREA BENEATH THE DRIPLINE OF THE MATURE
- SIZE OF THE ACTUAL VEGETATION.

 2. NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.

 3. THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF
- ANY LANDSCAPED AREA. 4. VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT
- 5. TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR

WATER LINE.
6. IRRIGATION WILL BE PROPOSED FOR THIS SITE AT THE CD PLAN LEVEL.

0

DESIGNED BY: EC DRAWN BY: ECS CHECKED BY: EIWS

DATE: 4/4/2024 .: SS 0 LEGAL DESCRIPTION
TRACT A ATRISCO BUSINES
PARK UNIT 1 CONTAINING
39.775 ACRES

SELUEWATER ROAD NW ABB

4/4/2024

PROJECT NO. 096523009

SHEET C5.6

GENERAL LANDSCAPE SPECIFICATIONS

A. SCOPE OF WORK

- THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN
- 2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF

B. PROTECTION OF EXISTING STRUCTURES

- 1. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR; REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA; LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING

C. PROTECTION OF EXISTING PLANT MATERIALS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC... THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
- 2. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

D. MATERIALS

1. GENERAL

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL
MULCH
TOPSOIL MIX
SAMPLE SIZE
ONE (1) CUBIC FOOT
ONE (1) CUBIC FOOT

IL MIX ONE (1) CUBIC FOOT
ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)

2. PLANT MATERIALS

- a. FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- b. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
- c. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
- d. PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
- e. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
- f. TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN $\frac{3}{4}$ INCH (19 MM) IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
- g. FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
- h. LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
- i. IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.

E. SOIL MIXTURE

- 1. CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:
- 2. SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
- a. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
- b. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
- 3. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

F. WATER

- 1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.... IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
- $^*\, {\sf WATERING/IRRIGATION}\,\, {\sf RESTRICTIONS}\,\, {\sf MAY}\,\, {\sf APPLY}\, -\, {\sf REFER}\,\, {\sf TO}\,\, {\sf PROPERTY'S}\,\, {\sf JURISDICTIONAL}\,\, {\sf AUTHORITY}.$

G. FERTILIZER

- CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
- * FERTILIZER RESTRICTIONS MAY APPLY REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY

H. MULCH

- 1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE) OR AS SHOWN IN PLANTING DETAILS. UNLESS OTHERWISE NOTED ON PLANS, MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH DARK BROWN FINES BY MOUNTAIN HIGH SAVATREE OR APPROVED EQUAL. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (6' MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.
- I. DIGGING AND HANDLING
 - ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
- 2. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
- 3. B&B, AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

J. CONTAINER GROWN STOCK

- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION
- 2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
- 3. ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.

K. MATERIALS LIST

1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

L. FINE GRADING

- 1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
- 2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
- 3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES. IF APPLICABLE.

M. PLANTING PROCEDURES

- 1. THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- 3. CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
- 4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
- 5. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ONSITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
- . WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION
- WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.

 7. ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN
- STANDARD FOR NURSERY STOCK.

 8. TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR
- DRAINAGE CONDITION" PLANTING DETAIL.

 TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMEN.
- 10. PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE
- 11. EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
- 12. IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PI US 6"
- 13. TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
- 14. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

15. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.

ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL

- 16. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
- 17. AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.

- 18. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.
- 19. ALL BURLAP, ROPE, WIRES, BASKETS, ETC.., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
- 20. TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.
- 21. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBTALL AT TON
- 22. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
- 23. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

N. LAWN SODDING

- 1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE
- 2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
- 3. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
- 4. SODDING
- a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- b. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY
- 5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
- 6. LAWN MAINTENANCE
- a. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADING IF NECESSARY.
- b. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

O. EDGING

- a. CONTRACTOR SHALL INSTALL 4"X\(\frac{1}{8}\)" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.

 CLEANUP
- 1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.
- Q. PLANT MATERIAL MAINTENANCE
- ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE

R. FINAL INSPECTION AND ACCEPTANCE OF WORK

1. FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

S. WARRANTY

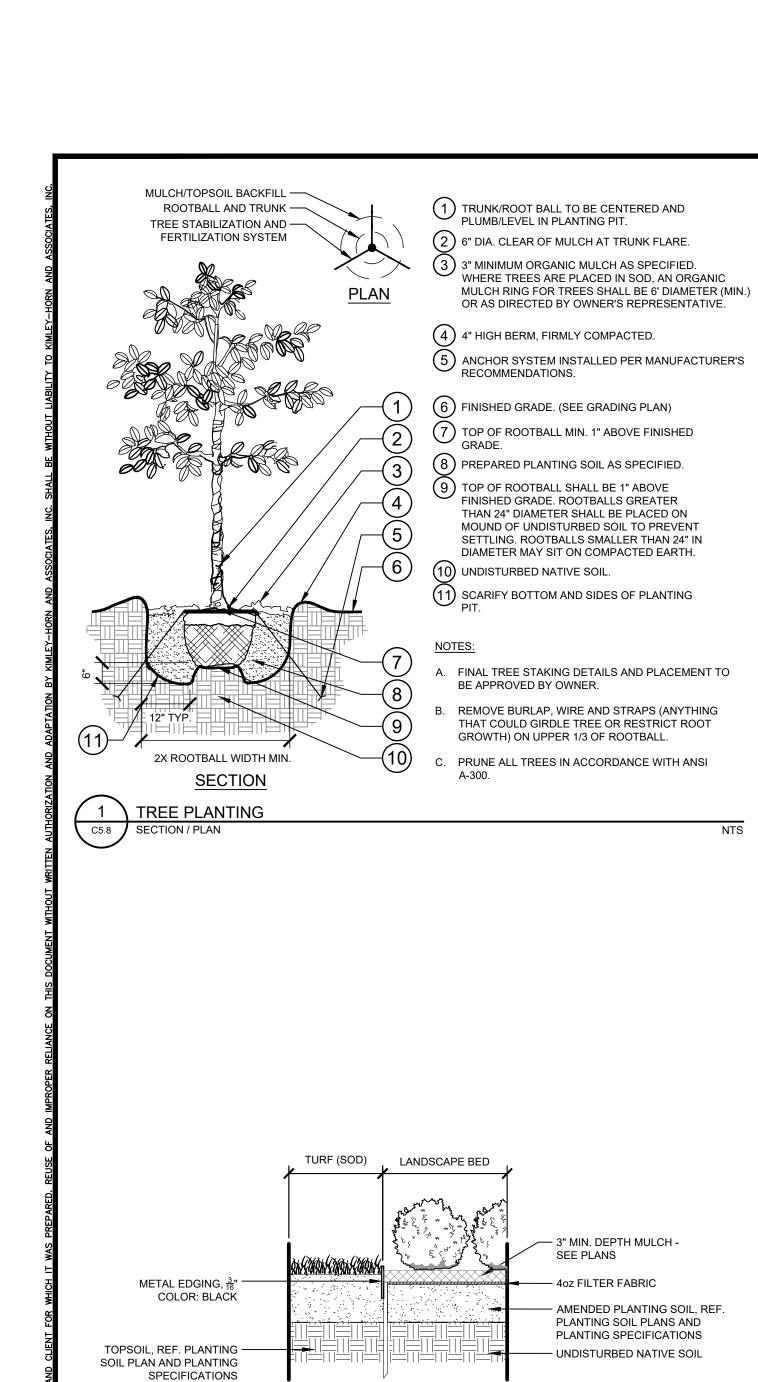
- THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
- ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
- IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

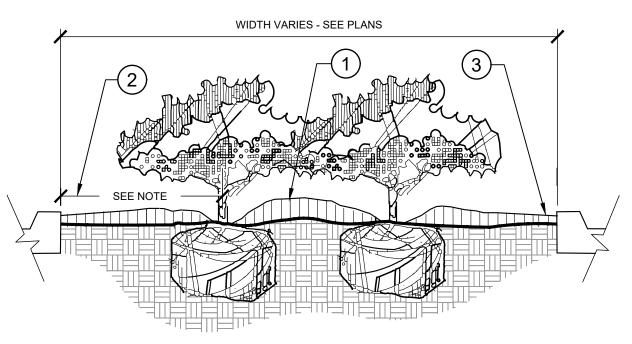
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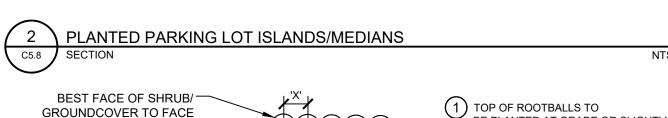


(1) CROWN ISLANDS @ 5:1 SLOPES (OR AS SPECIFIED ON THE LANDSCAPE PLANS).

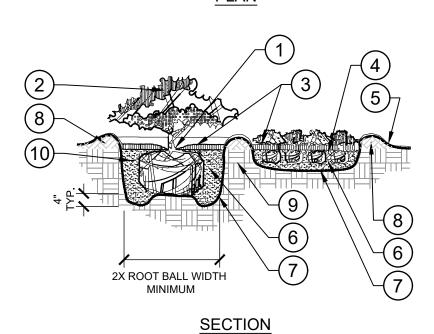
(3) 2" MIN VERTICAL CLEARANCE, TOP OF CURB TO TOP OF MULCH.

2 CLEAR ZONE: 36" MIN. FROM BACK OF CURB TO CENTER OF NEAREST SHRUB. CLEAR ZONE SHALL CONTAIN 4" CONTINUOUS MULCH OR TURF, SEE PLANS.

- A. EXCAVATE A CONTINUOUS 24" DEEP PIT (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING MIX.
- B. PROTECT AND RETAIN ALL CURBS AND BASE. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).
- C. ALL ISLANDS SHALL UTILIZE POOR DRAINAGE DETAIL WHEN PERCOLATION RATES ARE 2" PER HOUR



GROUNDCOVER TO FACE FRONT OF PLANTING BED. REFER TO PLANT SCHEDULE FOR SPACING. MAINTAIN 12" DEAD ZONE-AT BED EDGE.



3 4" MULCH LAYER AS SPECIFIED. (4) EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER

2 PRUNE ALL SHRUBS TO

MASS/HEIGHT.

ACHIEVE A UNIFORM

5 FOR CONDITIONS WITH FINISHED GRADE OF 4:1 MAX SLOPE ON ALL SIDES (SEE GRADING PLAN). (6) PREPARED PLANTING SOIL AS

BE PLANTED AT GRADE OR SLIGHTLY

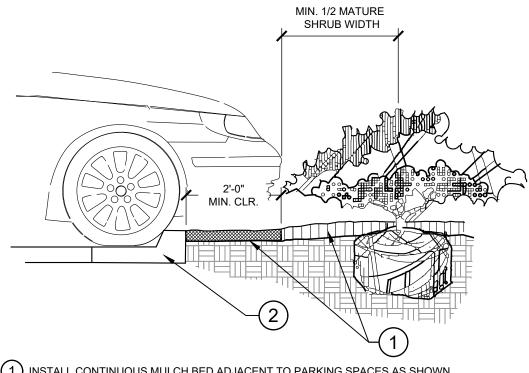
ABOVE SURROUNDING SOIL. 2" DIA.

CLEAR OF MULCH AT TRUNK FLARE.

- SPECIFIED. (SEE LANDSCAPE NOTES) NOTE: WHEN GROUND-COVERS AND SHRUBS USED IN MASSES, ENTIRE BED TO BE AMENDED WITH PLANTING SOIL
- SCARIFY PLANT OPENING SIDES AND BOTTOM. 8 4" HIGH BERM FIRMLY COMPACTED.
- 9 UNDISTURBED NATIVE SOIL. 10) FERTILIZER TABLETS (MAX 3"

A. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING AREAS PRIOR TO INSTALLATION.

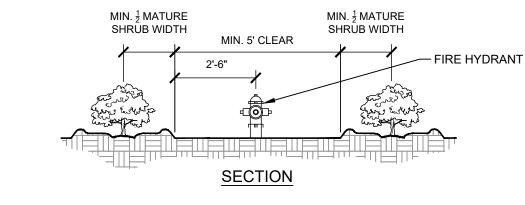
- B. WHEN SHRUBS ARE PRUNED IN MASSES, PRUNE ALL SHRUBS TO ACHIEVE UNIFORM MASS / HEIGHT.
- C. ALL SHRUBS AND GROUNDCOVERS SHALL BE PLUMB VERTICALLY, UNLESS OTHERWISE DIRECTED BY PROJECT D. PRE-EMERGENT HERBICIDE TO BE APPLIED PRIOR TO PLANT INSTALLATION.
- 6 \ SHRUB/GROUNDCOVER PLANTING

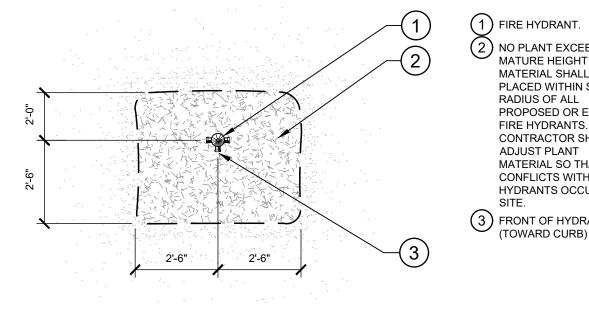


1) INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 4" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 24" OF A PARKING SPACE ON ANY SIDE.

(2) CURB / PARKING LOT EDGE.

PARKING SPACE/CURB PLANTING





2 NO PLANT EXCEEDING 12" MATURE HEIGHT MATERIAL SHALL BE PLACED WITHIN SHOWN RADIUS OF ALL PROPOSED OR EXISTING FIRE HYDRANTS. CONTRACTOR SHALL ADJUST PLANT MATERIAL SO THAT NO CONFLICTS WITH FIRE HYDRANTS OCCUR ON (3) FRONT OF HYDRANT

(TOWARD CURB)

<u>PLAN</u>

SHRUB PLANTING AT FIRE HYDRANT

DETENTION SEED MIX

WATER PLANTAIN	ALISMA SUBCORDATUM
SWAMP MILKWEED	ASCLEPIAS INCARNATA
TICKSEED SUNFLOWER	BIDENS ARISTOSA
ALLEGHENY MONKEYFLOWER	MIMULUS RINGENS
DITCH STONECROP	PENTHORUM SEDOIDES
CUTLEAF CONEFLOWER	RUDBECKIA LACINIATA
COMMON ARROWHEAD	SAGITTARIA LATIFOLIA
BLUE VERVAIN	VERBENA HASTATA
AWL-FRUITED SEDGE	CAREX STIPATA
FOX SEDGE	CAREX VULPINOIDEA
VIRGINIA WILDRYE	ELYMUS VIRGINICUS
SPIKE RUSH	ELEOCHARIS SPECIES
SOFT RUSH	JUNCUS EFFUSUS
PATH RUSH	JUNCUS TENUIS
RICE CUT GRASS	LEERSIA ORYZOIDES
SWITCHGRASS	PANICUM VIRGATUM
SOFTSTEM BULRUSH	SCHOENOPLECTUS TABERNAEMONTA
PRAIRIE CORDGRASS	SPARTINA PECTINATA

NURSE CROPS: COMMON OATS AVENA SATIVA

THIS MIX IS COMPOSED OF TENACIOUS SPECIES OF WILDFLOWERS, GRASSES, RUSHES AND

LOLIUM MULTIFLORUM

THAT CAN TOLERATE AREAS THAT ARE INUNDATED PERIODICALLY BY WATER.

PRODUCT CODE: DBWT

ANNUAL RYE

PLANTING RATE: 35 LBS./ACRE

*MIXTURE MAY VARY OCCASIONALLY FROM THE INDICATED LISTING, BASED ON AVAILABILITY OF INDIVIDUAL SPECIES.

NOTE: POND STABILIZATION TO FOLLOW SECTION 1013.

SEE DETAILS IN ALBUQUERQUE STANDARD SPECIFICATION 1013 FOR SLOPE STABILIZATION AND SEEDING AT DETENTION POND

SANDY SOILS	#PLS/A
Hilaria jamesii 'Viva' - Galleta	7.0
Oryzopsis hymenoides 'Paloma' - Indian Rice Grass	5.0
Bouteloua gracilis 'Hachita' – Blue Grama	2.0
Bouteloua curtipendula 'Vaughn' – Sideoats Grama	1.0
Agropyron smithii 'Arriba' – Western Wheat	1.0
Sporobolus cryptandrus -Sand Dropseed	1.0
Sporobolus airoides 'Salado' – Alkali Sacaton	1.0
Artemisia frigida – Fringed sagebush	.25
Sphaeralcea ambigua – Desert Globemallow	.25
Spaeralcea parvifolia – Nelson Globemallow	.25
Helianthus annuus	.5
Oenothera pallida – White Evening Primrose	.25
Baileya multiradiata – Desert Marigold	.25
Abronia fragrans or Abronia villosa – Sand Verbena	.25
Dalea purpurea var purpurea – Purple Prairie Clover	.25
Machaeranthera canescens – Hoary tanseyaster	.25
Berlandiera lyrata – Chocolate Flower	.25

Ratibida columnifera forma pulcherrima – Mexican Hat

NOTE: POND STABILIZATION TO FOLLOW SECTION 1013. SEE DETAILS IN ALBUQUERQUE STANDARD SPECIFICATION 1013 FOR SLOPE STABILIZATION AND SEEDING AT DETENTION POND.

SEED RATE IS GIVEN IN POUNDS OF PURE LIVE SEED (PLS) PER ACRE. MIX SHALL INCLUDE AT LEAST FOUR OF THE WILDFLOWER SPECIES LISTED BELOW AT A TOTAL APPLICATION RATE OF AT LEAST 2.0# PLS/AC.

DESIGNED BY: EC DRAWN BY: ECS CHECKED BY: EIWS DATE: 4/4/2024

LEGAL DESCRIPTION
TRACT A ATRISCO BUSINES
PARK UNIT 1 CONTAINING
39.775 ACRES

ABQ ADDITION

ABB

4/4/2024

PROJECT NO. 096523009

SHEET C5.8

5 METAL EDGER AT PLANTING BED

				LANDSCAF						
SYMBOL	CODE	<u>QTY</u>	<u>BUFFER</u>	LANDSCAPE AREA	STREET SCAPE	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
TREES										
$\begin{pmatrix} + \end{pmatrix}$	XI	28		2	26		EXISTING TREE TO REMAIN	-		
DECIDUO	US TREES	<u>S</u>								
$\overline{(\cdot)}$	CA2	16		8	8	CRATAEGUS AMBIGUA	RUSSIAN HAWTHORN	B & B	2" CAL MIN	10` - 12` HT. MIN.
Krumy.										
E · 3	MP	12	1	9	2	MACLURA POMIFERA	OSAGE ORANGE	B & B	2" CAL MIN	10` - 12` HT. MIN.
$\langle \cdot \rangle$	PG	14	2	8	4	PROSOPIS GLANDULOSA	HONEY MESQUITE	B & B	2" CAL MIN	10` - 12` HT. MIN.
	QG	13	9	1	3	QUERCUS GAMBELII	GAMBEL OAK	B & B	2" CAL MIN	10` - 12` HT. MIN.
$\left\{ \cdot \right\}$	SD	9	4		5	SAPINDUS DRUMMONDII	WESTERN SOAPBERRY	B & B	2" CAL MIN	10` - 12` HT. MIN.
	LID	40	4	0	2	LILANUS DADVIEGLIA	LACEDADIZ ELM	D 0 D	OH CAL MAIN	40° 40° UT MIN
	UP	13	I	9	3	ULMUS PARVIFOLIA	LACEBARK ELM	B & B	2" CAL MIN	10` - 12` HT. MIN.
EVERGRE	EN TREE	<u>:S</u>								
(\cdot)	JS	4	4			JUNIPERUS MONOSPERMA	ONESEED JUNIPER	B & B		6` HT MIN
₹÷}	PN	6	6			PINUS NIGRA	AUSTRIAN PINE	B & B		6` HT MIN
ORNAMEI	NTAL TRE	ES								
+	CL	10	6	4		CHILOPSIS LINEARIS	DESERT WILLOW	B & B	2" CAL MIN	10` - 12` HT. MIN.
(++	CA	10	7	3		CRATAEGUS AMBIGUA	RUSSIAN HAWTHORN	B & B	2" CAL MIN	10` - 12` HT. MIN.
SYMBOL	CODE	<u>QTY</u>	<u>BUFFER</u>	LANDSCAPE AREA	STREET SCAPE	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
SHRUBS										
$\stackrel{\bullet}{\bigcirc}$	AL	22	22			AMORPHA CANESCENS	LEADPLANT	5 GAL	SEE PLAN	18" FULL
	AW	48	48			ANISACANTHUS WRIGHTII	WRIGHT'S DESERT HONEYSUCKLE	5 GAL	SEE PLAN	18" HT MIN
****	AT2	36	36			ARTEMISIA TRIDENTATA	BIG SAGEBRUSH	5 GAL	SEE PLAN	36" FULL
(v)	BM	33	33			BUDDLEJA MARRUBIIFOLIA	WOOLY BUTTERFLY BUSH	5 GAL	SEE PLAN	36" FULL
<i>(.)</i>	FP	9			9	FALLUGIA PARADOXA	APACHE PLUME	5 GAL	SEE PLAN	24" FULL
*	HP	28	18	10		HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	SEE PLAN	18" FULL
\odot	LS	78	48		30	LEUCOPHYLLUM FRUTESCENS 'COMPACTA'	COMPACT TEXAS RANGER	5 GAL	SEE PLAN	24" HT MIN
ORNAME	NTAL GRA	ASSES								
Allin.	SW	6			6	SPOROBOLUS WRIGHTII	BIG SACATON	1 GAL		
		QTY	BUFFER	LANDSCAPE AREA	STREET SCAPE	BOTANICAL NAME	COMMON NAME	CONT	1	
Milling	CODE									
SYMBOL GROUND	COVERS			8 281 SF		1.4" AGGREGATE MILLOU BOOK	1-4" ANGIII AD AGGDECATE MILIOLI	BUCK		
SYMBOL	COVERS XL2	8,281 SF		8,281 SF 4,093 SF		1-4" AGGREGATE MULCH ROCK 2-4" AGGREGATE MULCH ROCK	1-4" ANGULAR AGGREGATE MULCH 2-4" ANGULAR AGGREGATE MULCH			
SYMBOL GROUND	COVERS		9,350 SF	8,281 SF 4,093 SF 37,750 SF	10,693 SF	1-4" AGGREGATE MULCH ROCK 2-4" AGGREGATE MULCH ROCK 3/4"-1" ROCK MULCH		ROCK ROCK		
SYMBOL GROUND	COVERS XL2 XT	8,281 SF 4,093 SF	9,350 SF	4,093 SF	10,693 SF	2-4" AGGREGATE MULCH ROCK	2-4" ANGULAR AGGREGATE MULCH			

LANDSCAPE AREA		
TOTAL LOT AREA = 39.94 ACRES / 1,739,7	91 SF	
TOTAL GROSS LOT AREA		739,791 SF
TOTAL BUILDING AREA (EXISTING TO REI		03,007 SF
TOTAL BUILDING AREA (PROPOSED) NET LOT AREA		89,631 SF 547,153 SF
	·	
TOTAL NET LOT AREA 1,547	,153 x 20% =	
TOTAL LANDSCAPE REQUIREMENT = 3	309,431 SF	
EXISTING LANDSCAPE	285,700 SF	
PROPOSED LANDSCAPE	94,658* SF	
TOTAL LANDSCAPE AREA PROVIDED *NOT COUNTING OVERLAPPING MULCH	380,358 SF (24%)	
EXISTING TREES TO BE REMOVED	= 3 TREE	
EXISTING TREES TO REMAIN	= 28 TREES	
PROVIDED SHADE TREES	= 77 TREES	
PROVIDED ACCENT/ORNAMENTAL TREES PROVIDED EVERGREEN TREES	= 10 TREES = 10 TREES	
TOTAL COVERAGE (PROPOSED LANDSCA	APE AREA)94.658 x 7	5% =
TOTAL COVERAGE REQUIREMENT	= 70,933.5 S	
TOTAL COVERAGE PROVIDED	= 107,853 S	
COVERAGE OF ROCK MULCH PROVIDED	,	
COVERAGE OF GROUND-LEVEL PLANTS	•	· /
COVERAGE OF GROUND-LEVEL PLANTS *CALCULATION ASSUMES 20 SF PER GRO	•	VERAGE MATURE SPREAD AND CANOPY COVERAGE
44.0.5.0(E) DADIVING LOT LANDSCADING	(D)	
14-6-5-6(F) PARKING LOT LANDSCAPING 242 PROPOSED PARKING STALLS	(F)	
1 TREE EVERY 100'-0" FT OF PARKING		
1 TREE / FOR EACH 10 PARKING STALLS	REQUIRED =	25 TREES
TOTAL TREES PROVIDED		27 TREES
14-6-5-6(D) STREET TREE LANDSCAPING	(S)	
1,118 LF OF STREET FRONTAGE		
1 TREE / PER 25 LF OF STREET FRONTAG	SE REQUIRED =	45 TREES
TOTAL TREES PROVIDED EXISTING TREES TO REMAIN		21 TREES 26 TREES
		ZU INEES
EXISTING TREES TO REMAIN		(8) EXISTING TREES ARE WITHIN 20'-0" LANDSCAPE BUFFE

41 TREES 205 SHRUBS 41 TREES 205 SHRUBS

14-6-5-6(E) EDGE BUFFER LANDSCAPING (EB) 819 LF OF PERIMETER

14-6-5-6(C) PEDESTRIAN WALKWAYS (PE) 459 LF OF PEDESTRIAN WALKWAYS

TOTAL SHRUBS PROVIDED

1 TREE / PER 20 LF OF SITE PERIMETER REQUIRED =
5 SHRUBS / PER 20 LF OF SITE PERIMETER REQUIRED =
TOTAL TREES PROVIDED

1 TREE/ PER 25 LF OF PEDESTRIAN WALKWAY REQUIRED= TOTAL TREES PROVIDED HORN AND ASSOCIATES, INC.

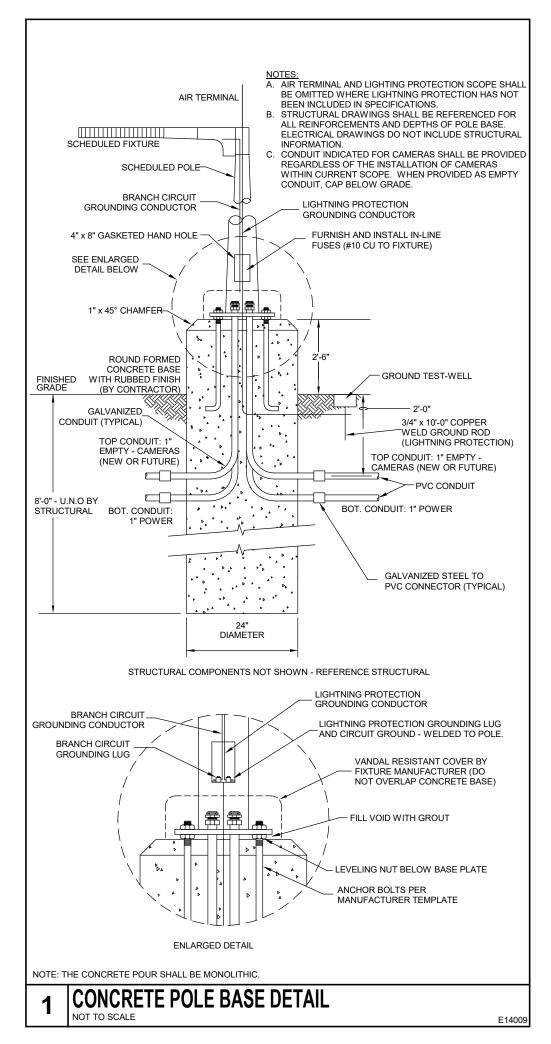
LEGAL DESCRIPTION:
TRACT A ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
SITE PLAN - DFT
LANDSCAPE DETAILS

4/4/2024

PROJECT NO. 096523009

SHEET **C5.9**



Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
○	S1		4	NLS Lighting	NV-1 T3 48L 7 40K	NV-1 SERIES SIZE 1 AREA LUMINAIRE 48 LED PERFORMANCE 4000K CCT TYPE 3 WITH HOUSE SIDE SHIELD	1	6968	1	104.3	Max: 7875cd
(0-0)	S2		12	NLS Lighting	NV-1 T5 48L 7 40K	NV-1 SERIES SIZE 1 AREA LUMINAIRE 48 LED PERFORMANCE 4000K CCT TYPE 5	1	12480	1	208.6	Max: 7793cd
$\hat{\Box}$	W2		19	Lithonia Lighting	WDGE2 LED P4 40K 70CRI TFTM	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE FORWARD THROW MEDIUM OPTIC	1	4742	1	46.6589	Max: 3261cd
0	D2	-	15	Lithonia Lighting	LDN4 40/20 LO4AR LSS	4IN LDN, 4000K, 2000LM, CLEAR, SEMI- SPECULAR REFLECTOR, 80CRI	1	2008	1	22.12	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
GRADE LEVEL	+	2.04 fc	26.2 fc	0.0 fc	N/A	N/A

1.ALL CALCULATION POINTS SET AT GRADE LEVEL, 0'.

2.ALL SITE LIGHTING POLES SET AT 18'6" OVERALL.

3.ALL WALL PACKS ARE MOUNTED AT 15'. 4.ALL DOWN LIGHTING IS MOUNTED AT 12', RECESSED.

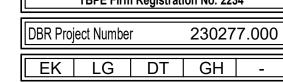
5. ALL SITE AND BUILDING-MOUNTED LIGHT FIXTURES ARE FULL CUT-OFF 6. ALL LIGHT FIXTURES INSTALLED IN CANOPIES ARE RECESSED ABOVE THE LOWER

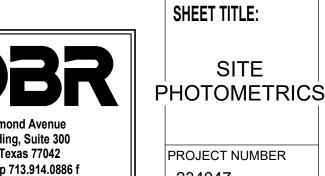
EDGE OF THE CANOPY AND HAVE FLAT LENSES.











PROJECT NUMBER

BRAWN BY: ME

CHECKED

BATE:

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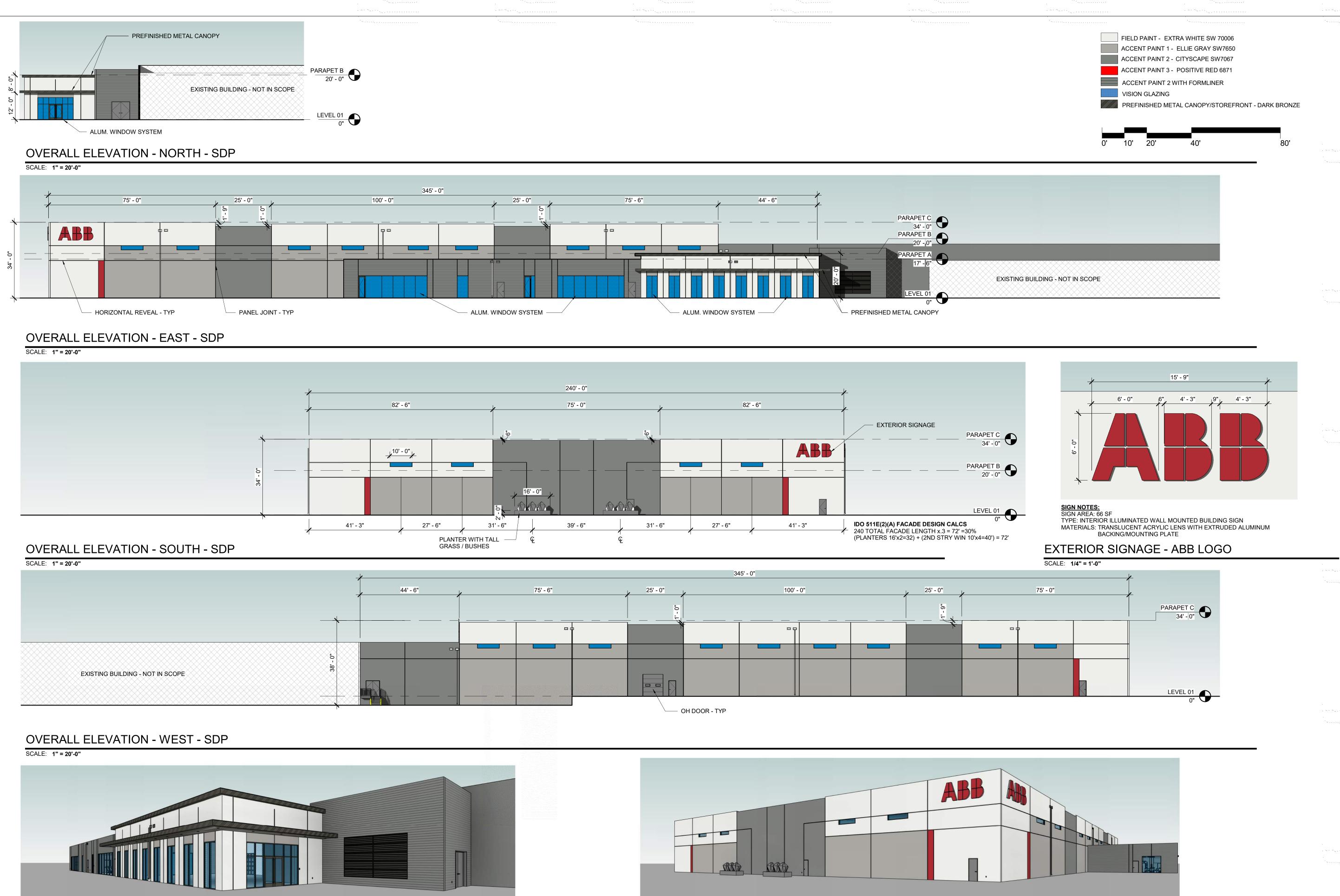
ADDITION TER ROAD NW

ABB 6625 B

SITE PLAN - DFT
SITE PLAN - DFT
SITE PLAN

234047 SHEET NUMBER:

EPH1.01



3D VIEW @ SE CORNER

3D VIEW @ NE CORNER

SCALE:

PROJECT

140.0

2150 W 29th A Suite 400 Denver, Colora 303.225.3345

pow bro arc ectu

DESIGNED BY: MF Drawn by: MF

CHECKED BY: **KS**DATE: **01/05/2023**

DESCRIPTION:

LEGAL

ABB ABQ ADDITION
6625 BLUEWATER ROAD NW

096523009 SHEET

A1.0

Current DRC			1	Date Submitted:							
Project Number	er:					Date	Site Plan Appro	ved:			
			INFRAS	STRUCTURE LIST		Date Prelim	ninary Plat Appro	oved:			
		Date Pre	Date Preliminary Plat Expires:								
			DHO Project	No.:							
	TO SUBDIVISION IMPROVEMENTS AGREEMENT DHO Application No										
	DEVELOPMENT HEARING OFFICER (DHO) REQUIRED INFRASTRUCTURE LIST										
	TRACT A-1, UNIT 1 ATRISCO BUSINESS PARK										
	PROPOSED NAME OF PLAT										
	TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION										
			EXISTING LEGAL DESCRI	PTION PRIOR TO PLATTI	NG ACTION						
and/or in the reitems in the list portions of the administrativel	eview of the constru ting and related fina financial guarantee	ction drawings, incial guarantee. s. All such revis unforeseen items	astructure required to be constructed or financ if the DRC Chair determines that appurtenant Likewise, if the DRC Chair determines that a sions require approval by the DRC Chair, the U s which arise during construction which are ne	items and/or unforeseen ite appurtenant or non-essentia User Department and agent	ems have not been include al items can be deleted fro t/owner. If such approvals	ed in the infrastructure lis in the listing, those items are obtained, these rev	sting, the DRC C s may be deleted isions to the listi consibility will be	chair may inc d as well as t ng will be inc required as a	lude those he related corporated a condition of		
Financially	Constructed	Size	Type of Improvement	Location	From	То	Priv	ruction Cert	City Cnst		
Guaranteed	Under	0.20	Type of improvement	20041011	7.70		Inspector	P.E.	Engineer		
DRC #	DRC#						-				
		1,380 sf	Construct new asphalt pavement (new 10.5' wide turn lane)	Bluewater Rd NW	Existing eastern entrance	Eastern property line	,	1	1		
		6" curb									
		and gutter	Construct new curb and gutter	Bluewater Rd NW	Existing eastern entrance	Eastern property line		/			
		6' wide concrete sidewalk	Construct new concrete sidewalk	Bluewater Rd NW	Existing eastern entrance	Eastern property line					
		3,053 sf	Demolition of existing curb and gutter, and sidewalk	Bluewater Rd NW	Existing eastern entrance	Eastern property line	. /				
		1,500 sf	striping	Bluewater Rd NW	Existing eastern entrance	SE property line	/				
							. /				
							/				

PAGE ____ OF ____

			proved for Impact Fee credits. Signatures he standard SIA requirements.	from the Impact Fee Ad	ministrator and the C	city User Department is r	required prior to l	DRB approval	of this
Financially	Constructed	1	·				Cons	truction Cert	ification
Guaranteed	Under	Size	Type of Improvement	Location	From	То		vate	City Cnst
DRC#	DRC#						Inspector	P.E.	Engineer
					_		/	1	1
·									
					_		/	1	1
					Approval of Cre	ditable Items:	Approval o	f Creditable It	ems:
				NOTES	Impact Fee Adn	nistrator Signature Da	ate City User	Dept. Signatu	ire Date
		If the cite i	is located in a floodplain, then the financia		ologood until the LO	MP is approved by EEM/	Δ.		
		ii the site				WIK IS approved by FEIWIA	А.		
4			Street ligh	nts per City rquirements	•				
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	AGENT / OWNER			DEVELOPMENT FACILIT	TATION TEAM APPR	OVALS			T
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MADI	SON JUREW	ICZ							
	NAME (print)		PLANNIN	G - date		PARKS & RECREATIO)N - date	_	
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KIMLEY-HO	ORN AND AS	SOCIATES							
	FIRM		TRANSPORTATION D	EVELOPMENT - date	_	AMAFCA - date	е	_	
Madisor	n Jurewicz 1/30	1/2024							
								_	
	SIGNATURE - date	•	UTILITY DEVELO	OPMENT - date		CODE ENFORCEMEN	IT - date		
			CITY ENGIN	EER - date		HYDROLOGY - da	ato	_	
			5			III DINOLOGI - de	ate		
			DESIGN RI	VIEW COMMITTEE REV	/ISIONS				
			22301111						
	REVISION DATE		DRC CHAIR	DRC CHAIR USER DEPART		RTMENT AGENT /C			7
	1.21.01011	-							=
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