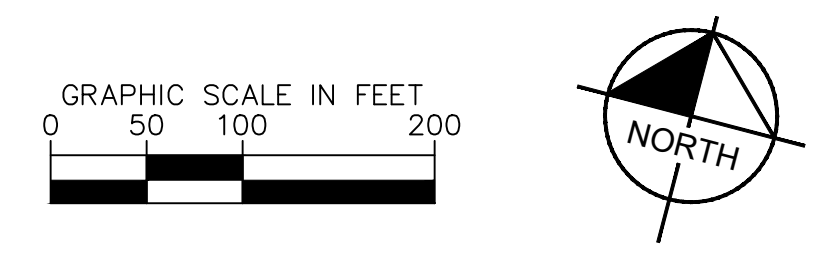
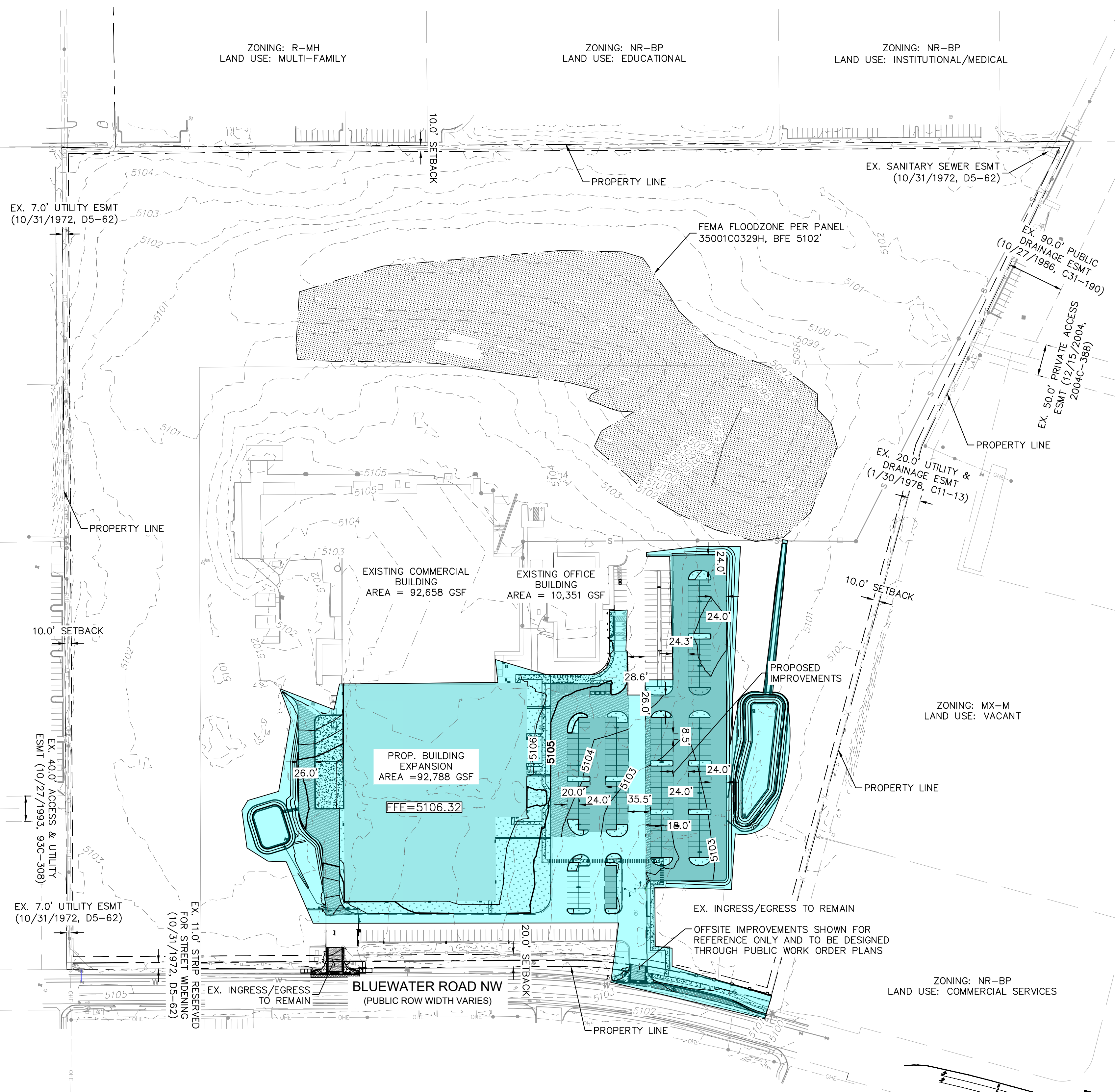


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VICINITY MAP - ZONE ATLAS PAGES: K-10-Z & J-10-Z



\*REFER TO SHEET C1.1 FOR LOCATION OF EXISTING OUTDOOR SEATING\*

OUTDOOR SEATING REQUIREMENTS TABLE					
	Required per IDO	Calculation	Provided		
			Existing	New	Total
Outdoor Seating	One outdoor seating area of at least 400 SF for every 30,000 GSF	92,788 SF / 30,000 SF = 3.09 * 400 = 1,236 SF of Outdoor seating required	4	0	4 outdoor seating areas provided totaling roughly 2,635 SF

**SITE DEVELOPMENT DATA**

- LEGAL DESCRIPTION:  
 • TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES
- LAND AREA:  
 • 39.775 ACRES
- ZONING: NR-BP: NON-RESIDENTIAL / BUSINESS PARK  
 PERMISSIVE PRIMARY USE AS LIGHT MANUFACTURING
- BUILDING AREAS:  
 • EXISTING - ±103,000 SF  
 • PROPOSED - ±92,800 SF  
 • TOTAL = ±195,800 SF
- DESIGN GUIDELINES:  
 • THE PROJECT HAS BEEN DEVELOPED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO). EFFECTIVE 7/17/2023.
- SET BACKS (IDO TABLE 2-5-3):  
 • FRONT: 20 FEET  
 • SIDE: 10 FEET  
 • REAR: 10 FEET
- BUILDING HEIGHT (IDO TABLE 2-5-3):  
 • ALLOWABLE MAX: 65 FEET  
 • EXISTING MAX HEIGHT: 28 FEET  
 • PROPOSED MAX HEIGHT: 32 FEET

**PROJECT DESCRIPTION**

COUNTY: BERNALILLO COUNTY  
 ADDRESS: 6625 BLUEWATER ROAD NW, ALBUQUERQUE, NM 87121  
 OWNER: AMERACE CORPORATION

PROJECT DESCRIPTION:  
 • THE PROJECT IS CONSTRUCTING A NEW 90,000 SF BUILDING WITH ASSOCIATED PARKING. A NEW FIRE MAIN EXTENSION WILL ALSO BE CONSTRUCTED FOR THE NEW BUILDING. THE EXISTING SITE HAS 103,000 SF OF BUILDING COVERAGE. THE PROPOSED SITE WILL HAVE 192,000 SF OF BUILDING COVERAGE.

SITE IMPROVEMENTS:  
 • THE PROJECT WILL PROVIDE LANDSCAPE IMPROVEMENTS TO MEET AT LEAST CODE MINIMUM  
 • EGRESS AND INGRESS POINTS WILL REMAIN THE SAME  
 • A FIRE ACCESS LANE WILL BE PROVIDED FOR THE PROJECT.  
 • A NEW 90,000 SF BUILDING IS PROPOSED FOR THE PROJECT.  
 • EXISTING PARKING SPACES THAT OVERLAP THE NEW BUILDING LOCATION WILL BE RELOCATED ON THE EASTERN PORTION OF THE PROJECT.

**PARKING CALCULATIONS**

PARKING DATA TABLE				
	REQUIRED PER IDO	PROVIDED		
		EXISTING	NEW	TOTAL
TOTAL PARKING	240	99	269	368
ACCESSIBLE (8.5 X 20)	5	2	7	9 (2 VAN)
MOTORCYCLE (4X8 MIN)	6	4	2	6
BICYCLE (4X8)	20	0	20	20
EV CHARGING	0	0	4	4
LOADING SPACES (12X65, 10X25)	2	6 (12X65)	1 (10X25)	7
REQUIRED SPACES	212	89	246	335
STANDARD SIZES (8.5X18)	1 SPACE / 1,000 SF (F-1) = 186 2.5* SPACE / 1,000 SF (B) = 26			

\*REDUCED FROM 3.5 TO 2.5 DUE TO 600' FROM MAIN CORRIDOR

**LEGEND**

- AREA OF PROPOSED IMPROVEMENTS
- EXISTING CONSTRUCTION TO REMAIN AND BE PROTECTED

\*REFER TO DETAILED SITE PLAN (SHEET C2.1) FOR DETAILED CALLOUTS\*

Sheet List Table	
Sheet Number	Sheet Title
C1.0	OVERALL SITE PLAN
C1.1	DETAILED SITE PLAN
C1.2	DETAILED SITE PLAN (OFFSITE)
C1.3	SITE PLAN DETAILS
C2.0	SOLID WASTE PLAN
C3.0	CONCEPT TRAFFIC CIRCULATION LAYOUT
C3.1	SITE TRIANGLES AND DETAILS SHEET
F1	FIRE 1 PLAN
D1	CONCEPTUAL EXISTING DRAINAGE EXHIBIT
D2	CONCEPTUAL GRADING & DRAINAGE PLAN
D3	HYDROLOGY DATA
C4.0	PRIVATE UTILITY PLAN
C5.0	OVERALL LANDSCAPE PLAN
C5.1	DETAILED LANDSCAPE PLAN
C5.2	DETAILED LANDSCAPE PLAN
C5.3	DETAILED LANDSCAPE PLAN
C5.4	DETAILED LANDSCAPE PLAN
C5.5	LANDSCAPE NOTES
C5.6	LANDSCAPE DETAILS
C5.7	LANDSCAPE DETAILS
E1.01	SITE PHOTOMETRICS
A1.0	BUILDING ELEVATIONS

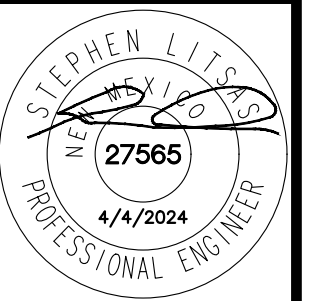
NO.	REVISION	BY	DATE	APPR.

**Kimley»Horn**  
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 6200 South Syracuse Way, Suite 500  
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ  
 DRAWN BY: MEJ  
 CHECKED BY: SAL  
 DATE: 04/04/2024

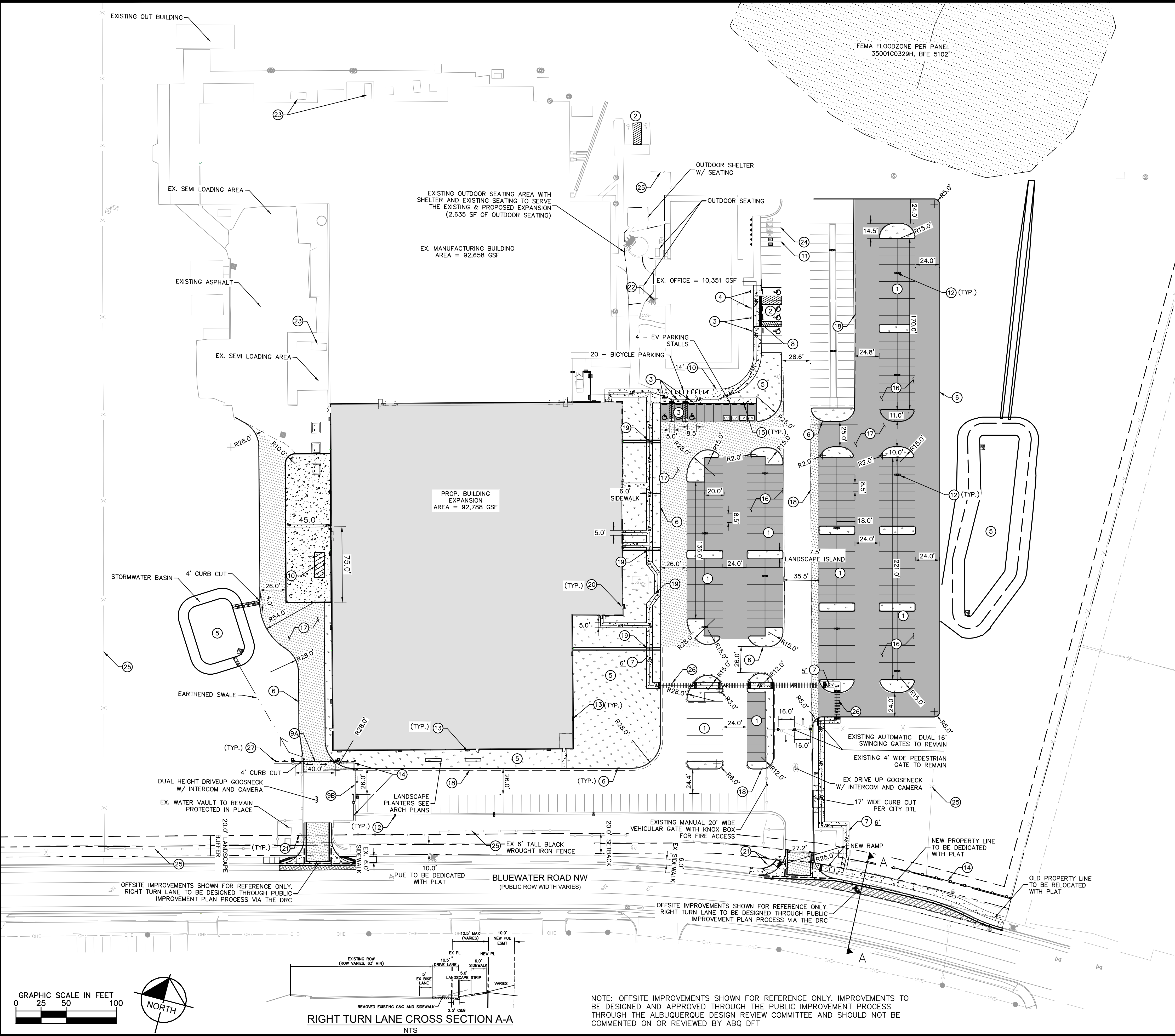
LEGAL DESCRIPTION:  
 TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES

ABB ABQ ADDITION  
 6625 BLUEWATER ROAD NW  
 SITE PLAN - DFT  
 OVERALL SITE PLAN



PROJECT NO.  
096523009  
 SHEET  
 C1.0

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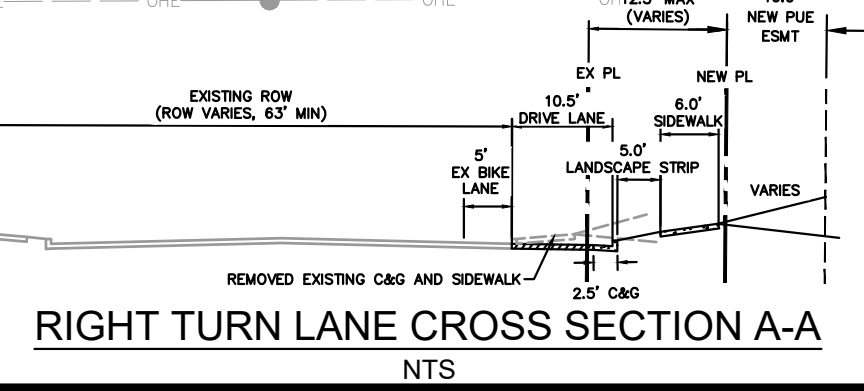
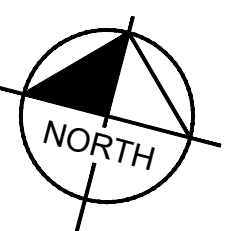
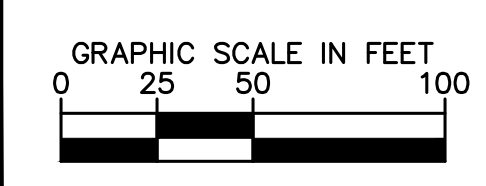
- PROPERTY LINE
- ADJACENT SECTION LINE
- EX. UTILITY ESMT
- EX. WROUGHT IRON FENCE
- EX. CHAIN LINK FENCE
- ⊗ EX. FIRE HYDRANT/VALVE
- ⊗ EX. FLAGPOLE
- ⊙ EX. SITE LIGHT
- EX. SIGN
- PROP. 6" VERTICAL CURB PER CITY DTL
- ▭ PROP. BUILDING (SEE ARCH PLANS)
- ▭ PROP. HEAVY DUTY ASPHALT
- ▭ PROP. LIGHT DUTY ASPHALT
- ▭ PROP. CONCRETE
- ▭ PROP. LANDSCAPE (SEE LANDSCAPE PLANS)
- AR ACCESSIBLE ROUTE
- ⊞ PROP. POLE MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
- ⊞ PROP. BUILDING MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
- PROPOSED SIGN, TYPE PER KEYNOTES

**KEYNOTE LEGEND:**

1	PROP. STANDARD 8.5'X18' PARKING STALLS
2	PROP. 8.5'X18' ACCESSIBLE PARKING STALLS
3	ACCESSIBLE PARKING SIGN (SEE DTL ON SHEET C1.3)
4	VAN ACCESSIBLE PARKING SIGN (SEE DTL ON SHEET C1.3)
5	PROP. LANDSCAPING (REFER TO LANDSCAPE PLANS)
6	PROP. 6" VERTICAL CURB PER CITY DETAIL 2415A
7	PROP. CONCRETE SIDEWALK WIDTH PER PLAN (SEE DTL SHEET C3.1)
8	ACCESSIBLE CURB RAMP PER CITY DTL 2441, 2443, 2445, 2448)
9A	PROP. 40' AUTOMATIC CANTILEVER GATE W/ KNOX BOX (SEE DTL SHEET C1.3)
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10	PROP. TEMPORARY LOADING ZONE (10X25)
11	PROP. MOTORCYCLE STALL (4' X 8') W/ MOTORCYCLE PARKING SIGN
12	NEW LIGHT POLE (SEE LIGHTING PLANS)
13	NEW WALL MOUNTED LIGHTING (SEE LIGHTING PLANS)
14	NEW 6' BLACK WROUGHT IRON FENCE (SEE SHEET C1.3)
15	WHEEL STOP
16	LIGHT DUTY PAVEMENT (SEE DTL SHEET C3.1)
17	HEAVY DUTY PAVEMENT (SEE DTL SHEET C3.1)
18	SAWCUT LINE
19	PROP. SIDEWALK CHASE
20	EX. LIGHT POLES (TO REMAIN)
21	EX. SIGNAGE (TO REMAIN)
22	EX. FIRE HYDRANTS (TO REMAIN)
23	EXISTING OPEN TOP ROLL TRASH CONTAINER
24	EX. MOTORCYCLE PARKING (TO REMAIN)
25	EX. SITE SECURITY FENCING (TO REMAIN)
26	PROP. CROSS WALK STRIPING PER CITY STDs
27	BOLLARDS PER CITY DETAIL 2250

**DIMENSION NOTES:**

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL CURB SHALL BE 6" STANDARD EXCEPT WHERE OTHERWISE NOTED ON PLANS.
3. REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTINGS.
4. ALL CURB RETURN RADIUS TO BE 28', 25', 15' OR 2' UNLESS OTHERWISE NOTED.



NOTE: OFFSITE IMPROVEMENTS SHOWN FOR REFERENCE ONLY. IMPROVEMENTS TO BE DESIGNED AND APPROVED THROUGH THE PUBLIC IMPROVEMENT PROCESS THROUGH THE ALBUQUERQUE DESIGN REVIEW COMMITTEE AND SHOULD NOT BE COMMENTED ON OR REVIEWED BY ABQ DFT

NO.	REVISION	BY	DATE	APPR

Kimley»Horn

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6200 South Syracuse Way, Suite 300  
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ  
DRAWN BY: MEJ  
CHECKED BY: SAL  
DATE: 04/04/2024

**LEGAL DESCRIPTION:**  
TRACT A ATRISCO BUSINESS  
PARK UNIT 1 CONTAINING  
39.775 ACRES

**ABB ABQ ADDITION**  
6625 BLUEWATER ROAD NW  
SITE PLAN - DFT  
DETAILED SITE PLAN



PROJECT NO.  
096523009

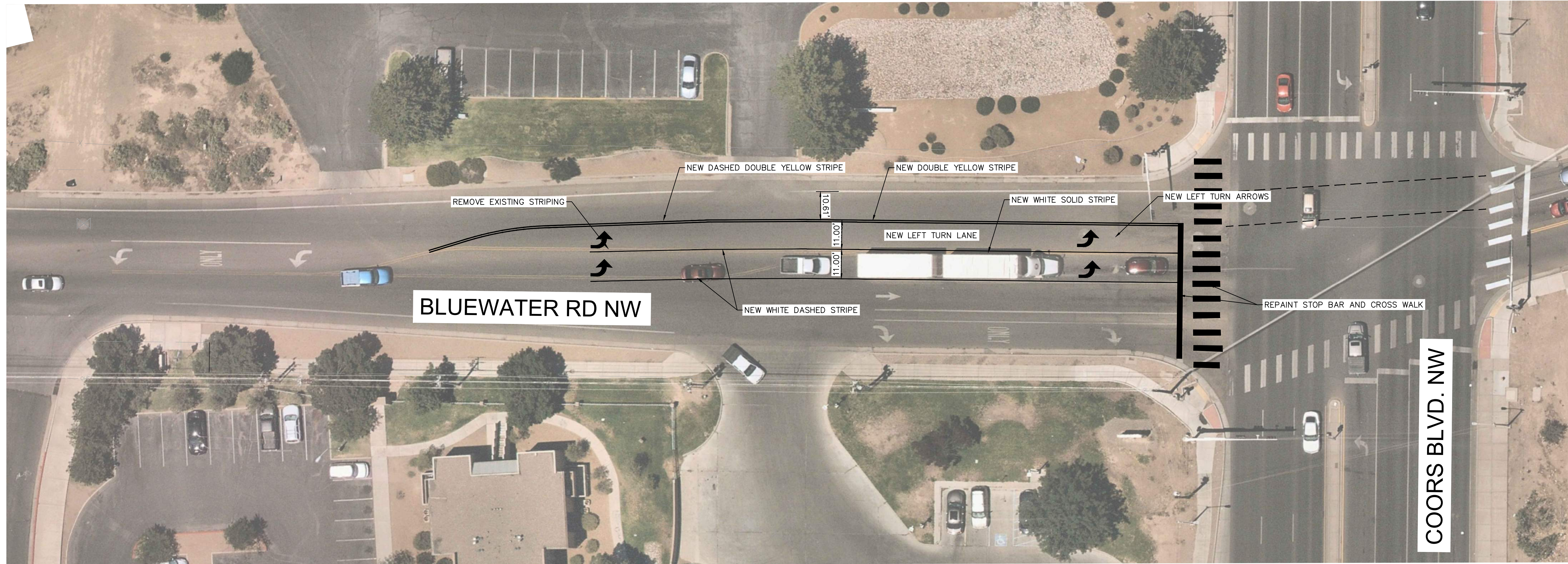
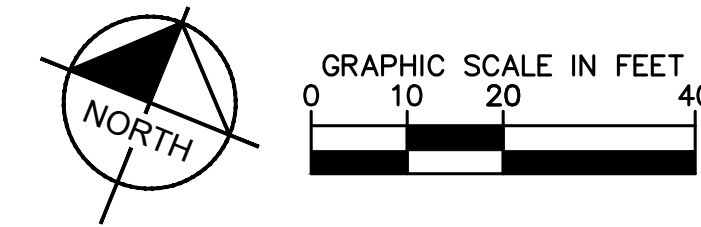
SHEET  
C1.1

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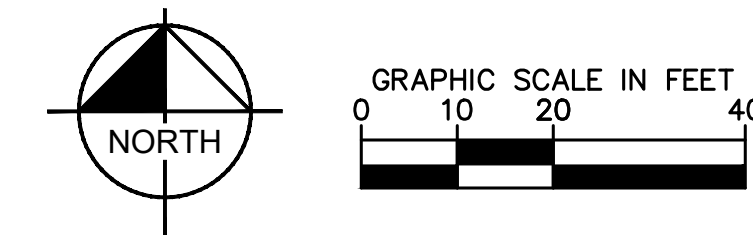
**WBL BLUEWATER ROAD NW & UNSER BLVD NW NW LEFT TURN STRIPING**

\*FOR REFERENCE ONLY\*



**EBL BLUEWATER ROAD NW & COORS BLVD NW LEFT TURN STRIPING**

\*FOR REFERENCE ONLY\*



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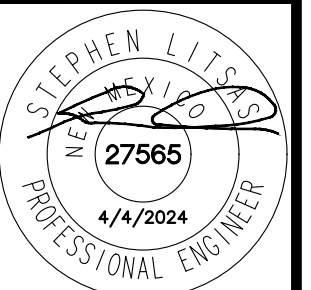
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DESIGNED BY: MEJ  
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CHECKED BY: SAL  
DATE: 04/04/2024

LEGAL DESCRIPTION:  
TRACT A, TRISCO BUSINESS  
PARK UNIT 1 CONTAINING  
39.775 ACRES

**ABB ABQ ADDITION**  
6625 BLUEWATER ROAD NW  
SITE PLAN - DFT  
DETAILED SITE PLAN (OFFSITE)

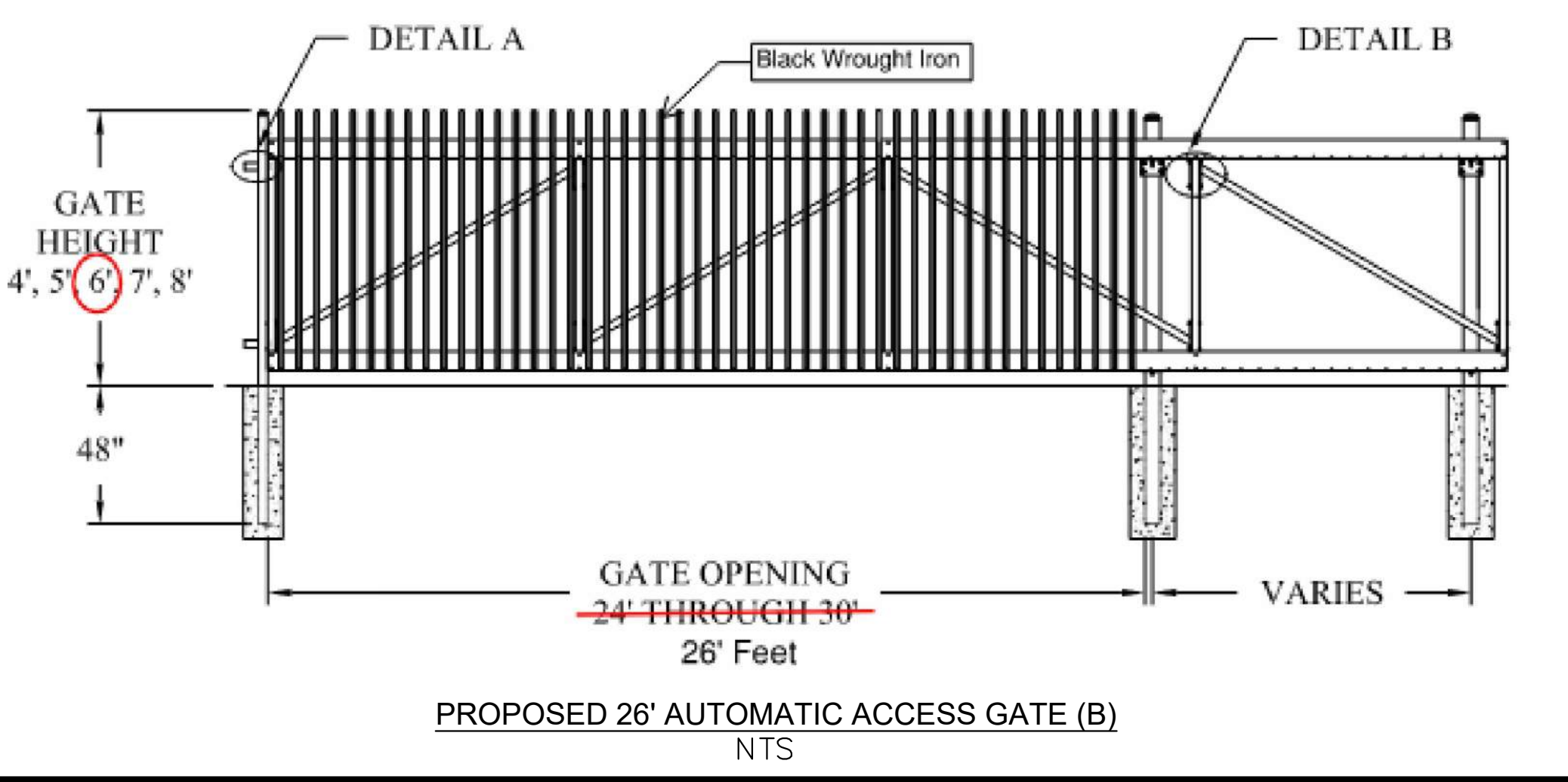
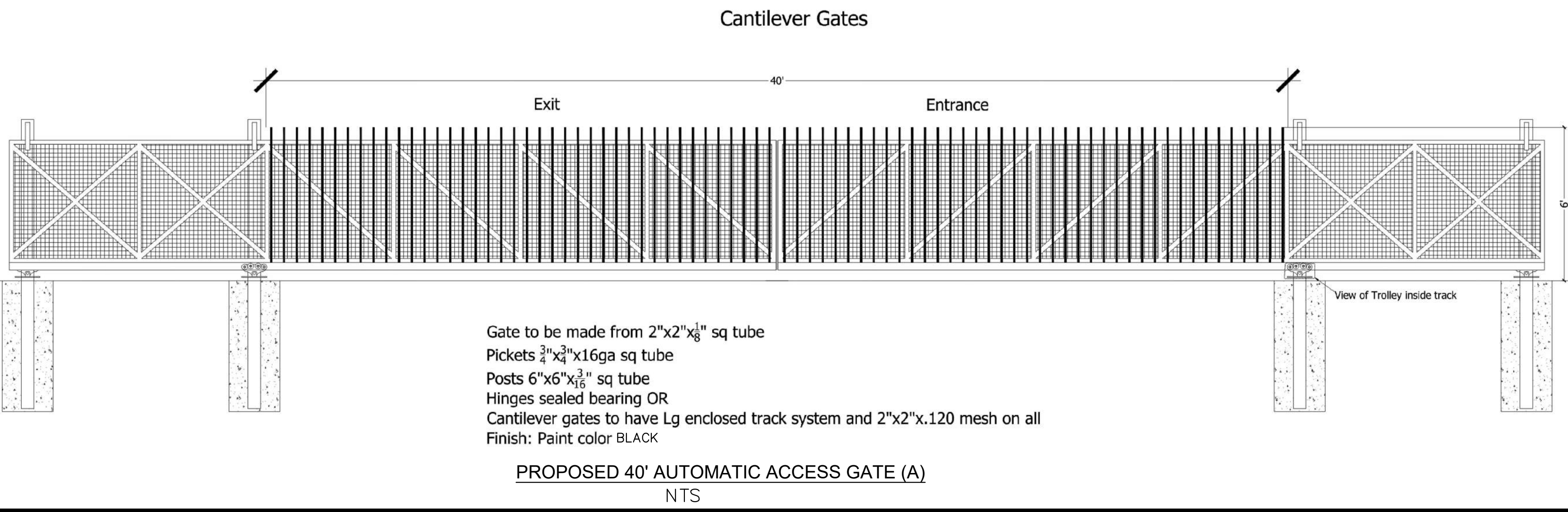
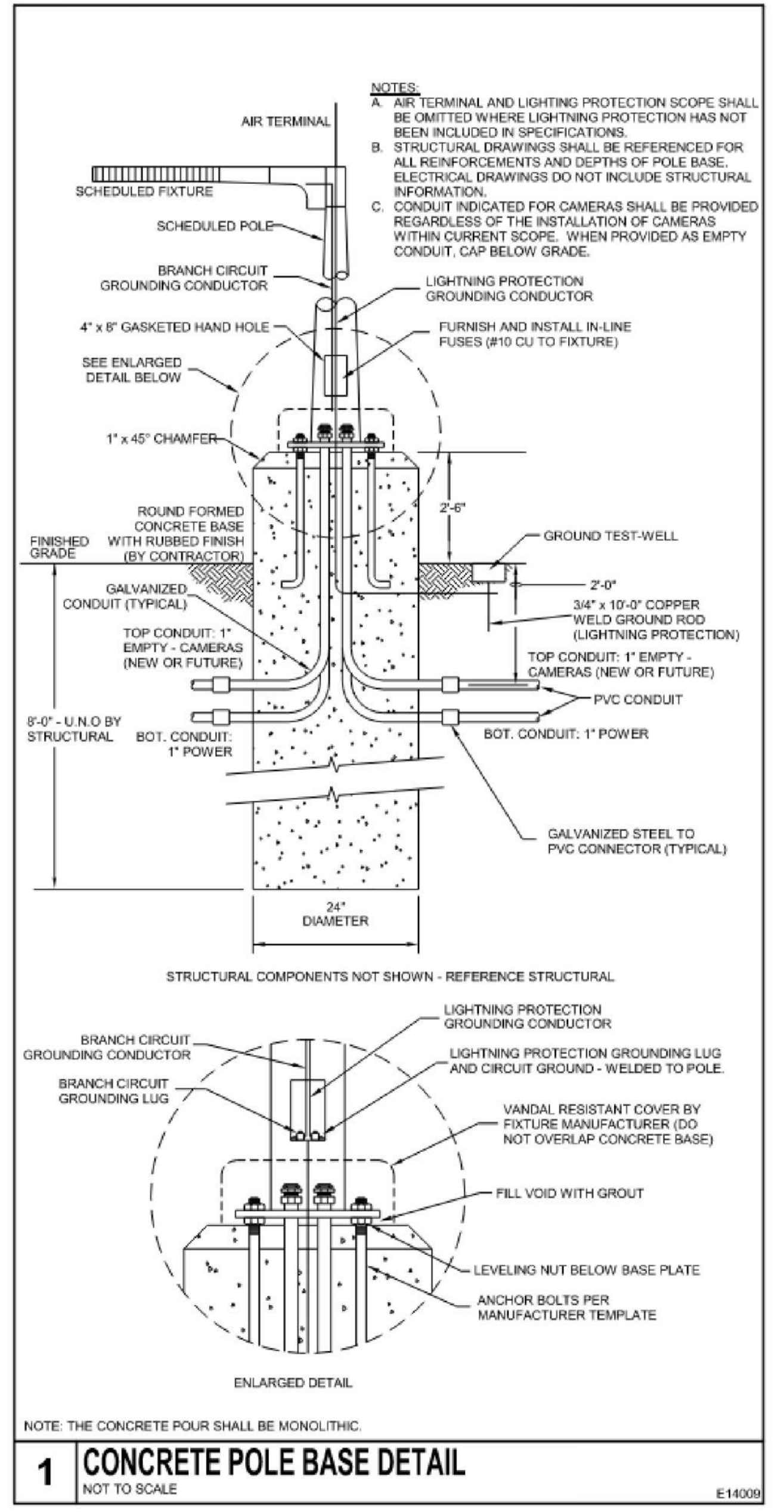
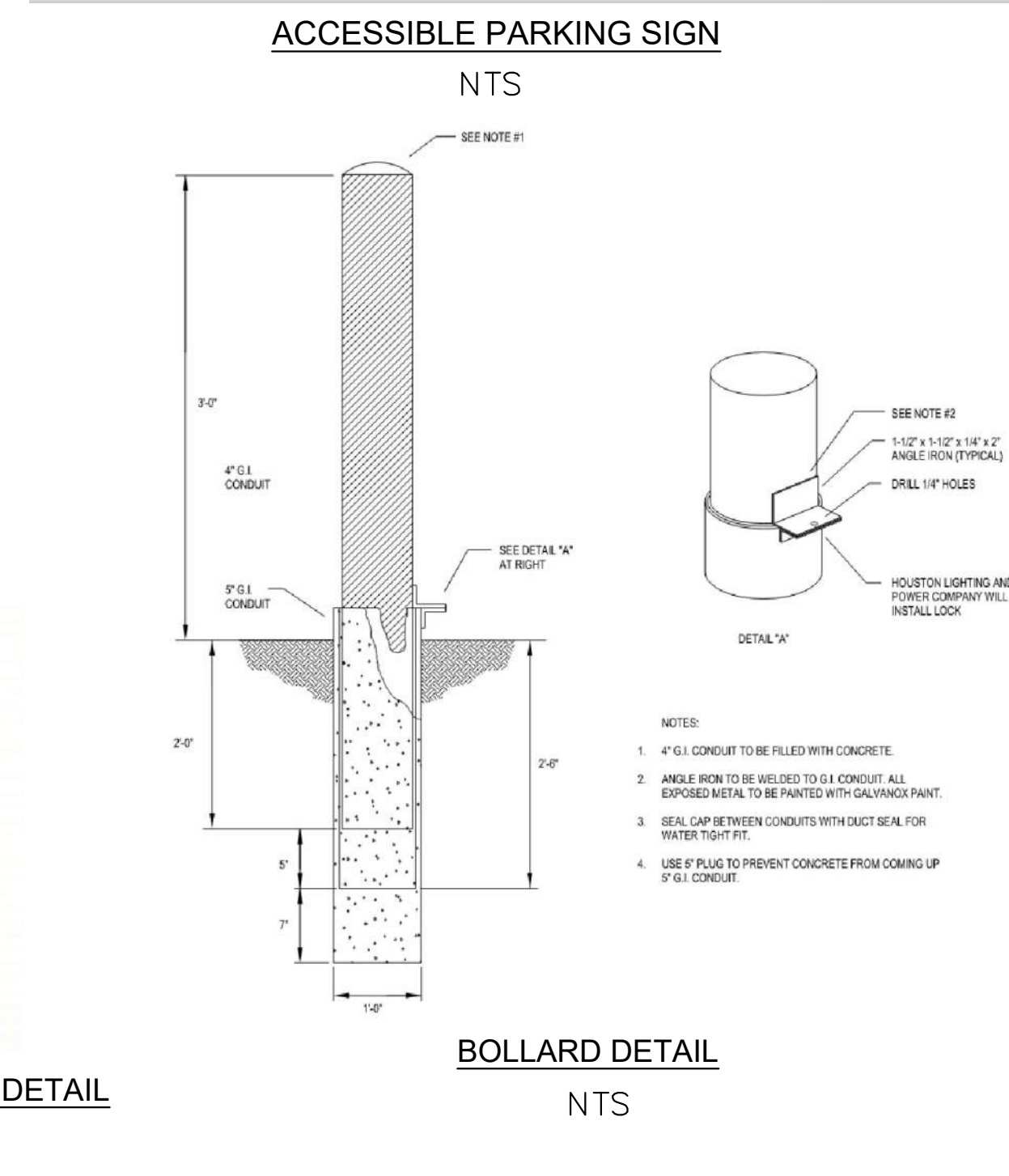
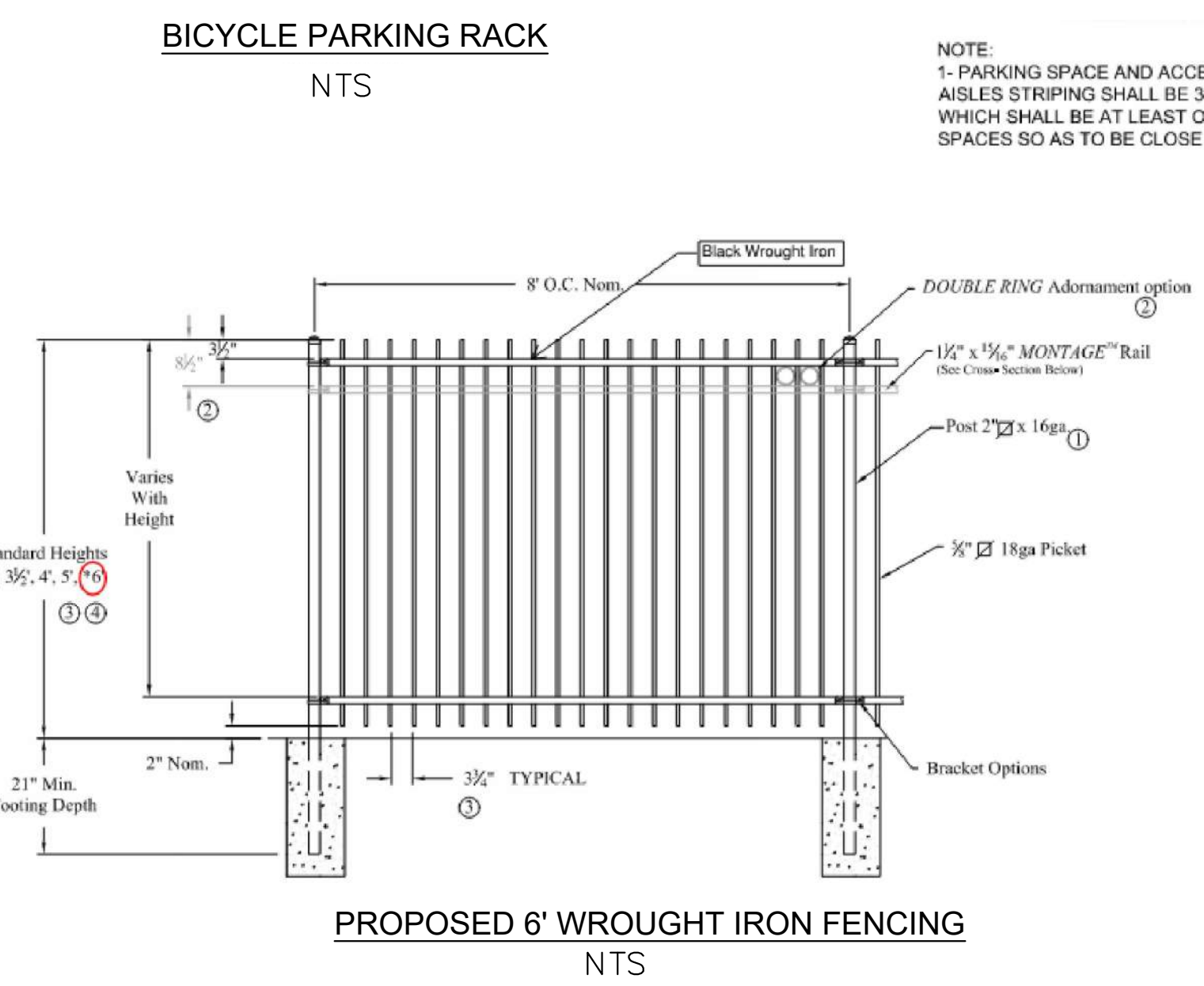
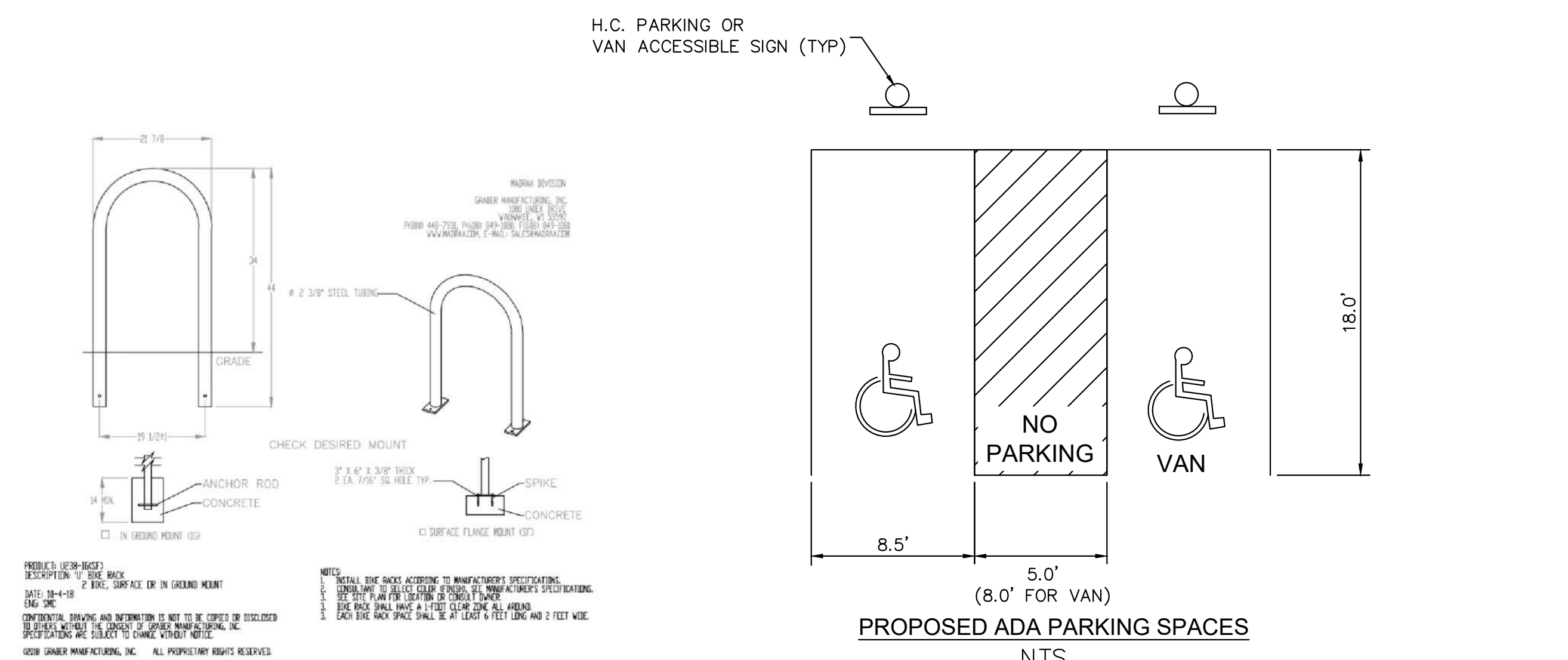


PROJECT NO.  
096523009

SHEET

C1.2

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NO.	REVISION	BY	DATE

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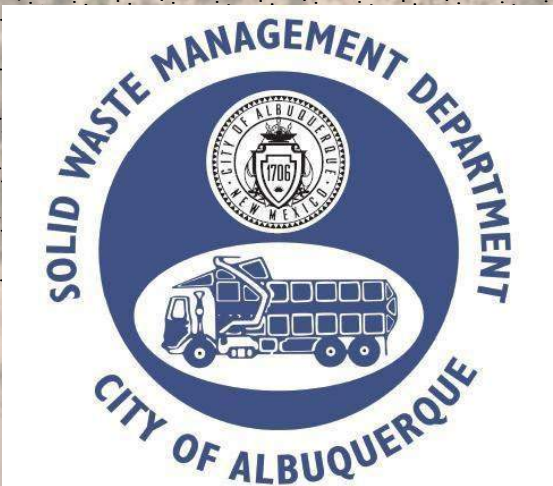
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TRACT A ATRISCO BUSINESS  
PARK UNIT 1 CONTAINING  
39.775 ACRES

ABB ABQ ADDITION  
6625 BLUEWATER ROAD NW  
SITE PLAN - DFT  
DETAILED SITE PLAN

STEPHEN L. LIPS  
27565  
PROFESSIONAL ENGINEER  
4/4/2024

PROJECT NO.  
096523009

SHEET  
C1.3



Approved for access by the Solid Waste Department.  
 All containers must be made accessible for pick up  
 between the hours of 5AM and 8PM.  
 Reviewer: *Herman Gallegos*  
 Date: 01-11-24  
 \*\*See keynote 23\*\*

**LEGEND:**

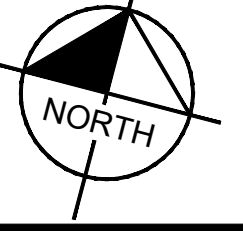
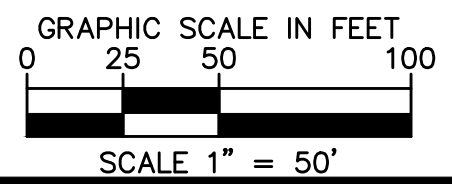
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- - - EX. UTILITY ESMT
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- ▭ PROP. BUILDING (SEE ARCH PLANS)
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- ▭ PROP. LIGHT DUTY ASPHALT
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- ⊗ PROPOSED SIGN, TYPE PER KEYNOTES

**KEYNOTE LEGEND:**

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2	PROP. 8.5'X18' ACCESSIBLE PARKING STALLS
3	ACCESSIBLE PARKING SIGN (SEE DTL ON SHEET C1.2)
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6	PROP. 6" VERTICAL CURB PER CITY DETAIL 2415A
7	PROP. CONCRETE SIDEWALK (WIDTH PER PLAN)
8	PROP. ACCESSIBLE CURB RAMP
9A	PROP. 40' AUTOMATIC CANTILEVER GATE W/ KNOX BOX (SEE DTL SHEET C1.2)
9B	PROP. 26' AUTOMATIC SLIDING CANTILEVER GATE W/ KNOX BOX (SEE DTL ON SHEET C1.2)
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15	WHEEL STOP
16	LIGHT DUTY PAVEMENT
17	HEAVY DUTY PAVEMENT
18	SAWCUT LINE
19	PROP. SIDEWALK CHASE
20	EX. LIGHT POLES (TO REMAIN)
21	EX. SIGNAGE (TO REMAIN)
22	EX. FIRE HYDRANTS (TO REMAIN)
23	EXISTING 30 YARD OPEN TOP ROLL TRASH CONTAINER
24	EX. MOTORCYCLE PARKING (TO REMAIN)
25	EX. SITE SECURITY FENCING (TO REMAIN)
26	PROP. CROSS WALK STRIPING PER CITY STDS
27	BOLLARDS PER CITY DETAIL 2250

**DIMENSION NOTES:**

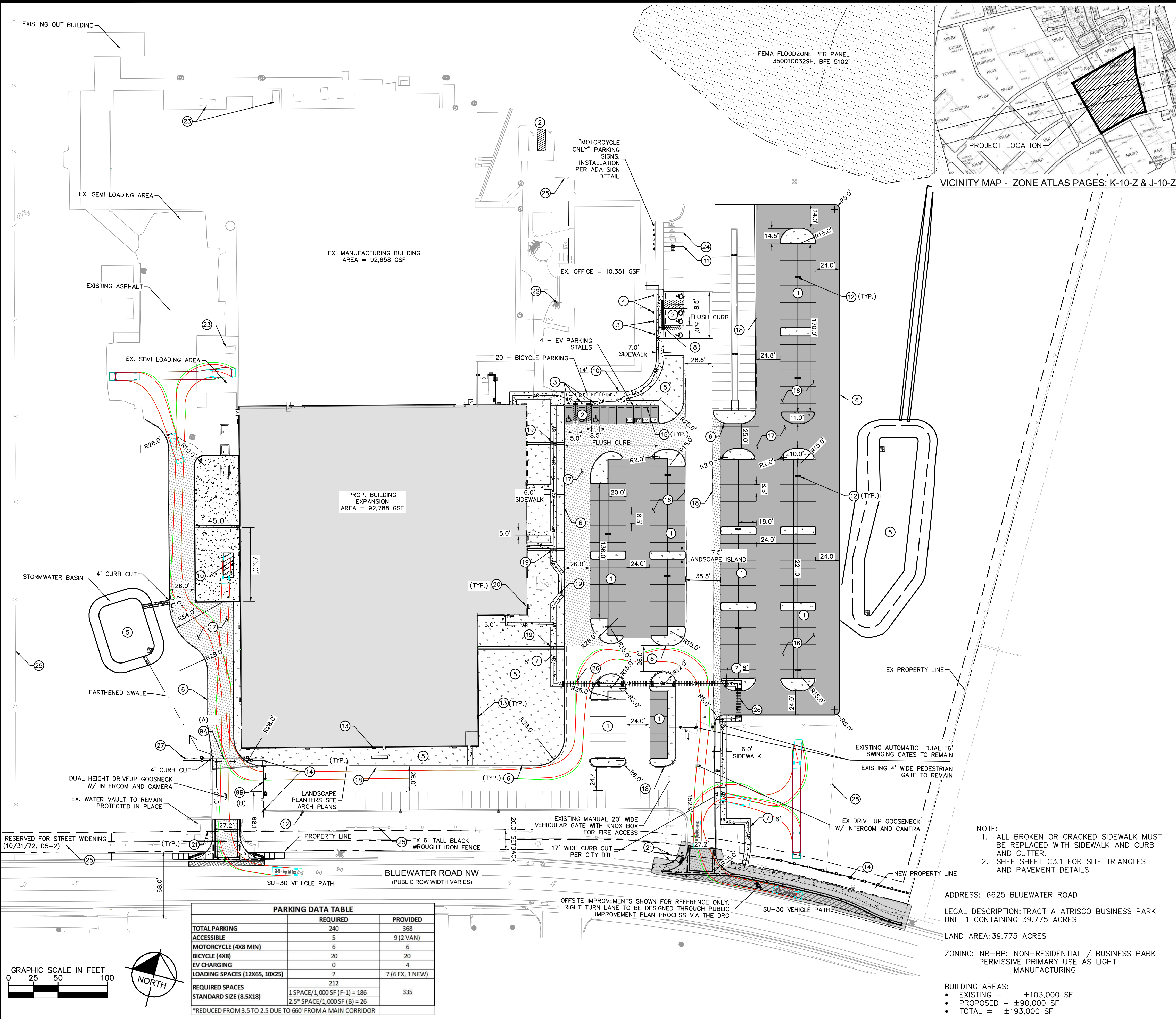
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	NO. _____ BY _____ DATE _____ REVISION _____
<b>ABB ABQ ADDITION</b> 6825 BLUEWATER ROAD NW SITE PLAN - DFT SOLID WASTE PLAN	
<b>LEGAL DESCRIPTION:</b> TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES	
DESIGNED BY: MEJ DRAWN BY: MEJ CHECKED BY: SAL DATE: 10/01/2024	
PROJECT NO. 096523009	
SHEET C2.0	

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**LEGEND:**

- PROPERTY LINE
- - - ADJACENT SECTION LINE
- - - EX. UTILITY ESMT
- - - EX. WROUGHT IRON FENCE
- - - EX. CHAIN LINK FENCE
- ⊗ EX. FIRE HYDRANT/VALVE
- ⊗ EX. FLAGPOLE
- ⊗ EX. SITE LIGHT
- ⊗ EX. SIGN
- ▬ PROP. 6" VERTICAL CURB PER CITY DTL
- ▬ PROP. BUILDING (SEE ARCH PLANS)
- ▬ PROP. HEAVY DUTY ASPHALT
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- AR ACCESSIBLE ROUTE
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12	NEW LIGHT POLE (SEE LIGHTING PLANS)
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16	LIGHT DUTY PAVEMENT (SEE DTL SHEET C3.1)
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21	EX. SIGNAGE (TO REMAIN)
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24	EX. MOTORCYCLE PARKING (TO REMAIN)
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26	PROP. CROSS WALK STRIPING PER CITY STDS
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- DIMENSION NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
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  - ALL CURB RETURN RADIUS TO BE 28', 25', 15' OR 2' UNLESS OTHERWISE NOTED.

**PARKING DATA TABLE**

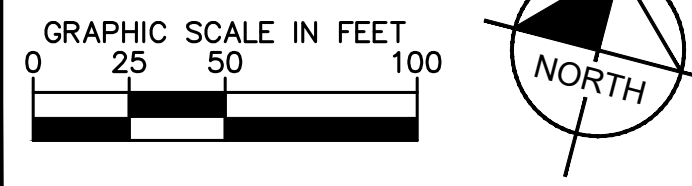
	REQUIRED	PROVIDED
TOTAL PARKING	240	368
ACCESSIBLE	5	9 (2 VAN)
MOTORCYCLE (4X8 MIN)	6	6
BICYCLE (4X8)	20	20
EV CHARGING	0	4
LOADING SPACES (12X65, 10X25)	2	7 (6 EX, 1 NEW)
REQUIRED SPACES	212	
STANDARD SIZE (8.5X18)	1 SPACE/1,000 SF (F-1) = 186	335
	2.5" SPACE/1,000 SF (B) = 26	

\*REDUCED FROM 3.5 TO 2.5 DUE TO 660' FROM A MAIN CORRIDOR

NOTE:  
 1. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.  
 2. SHEE SHEET C3.1 FOR SITE TRIANGLES AND PAVEMENT DETAILS

ADDRESS: 6625 BLUEWATER ROAD  
 LEGAL DESCRIPTION: TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES  
 LAND AREA: 39.775 ACRES  
 ZONING: NR-BP: NON-RESIDENTIAL / BUSINESS PARK PERMISSIVE PRIMARY USE AS LIGHT MANUFACTURING

BUILDING AREAS:  
 • EXISTING - ±103,000 SF  
 • PROPOSED - ±90,000 SF  
 • TOTAL - ±193,000 SF



**Kimley»Horn**  
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 6200 South Syracuse Way, Suite 500  
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ  
 DRAWN BY: MEJ  
 CHECKED BY: SAL  
 DATE: 04/04/2024

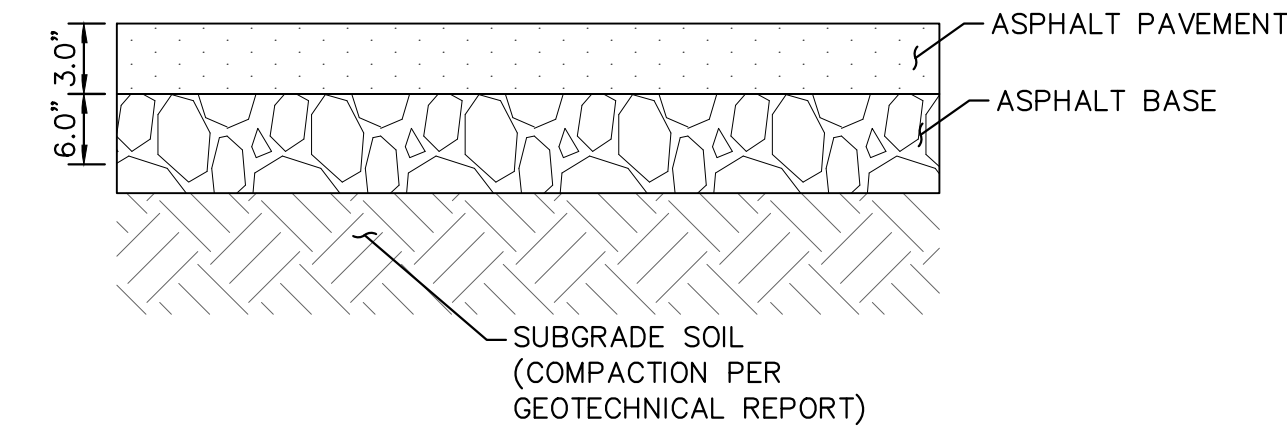
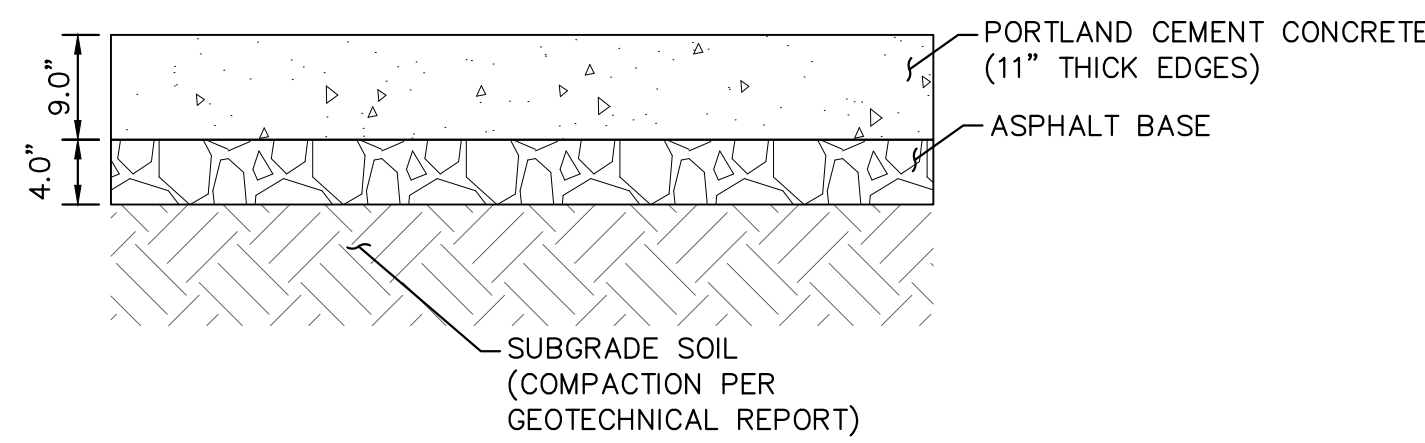
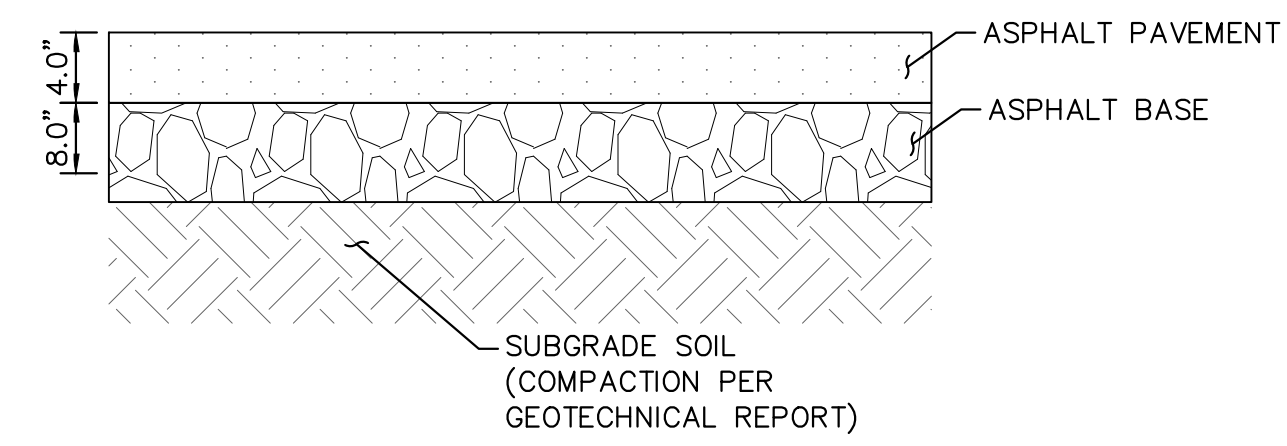
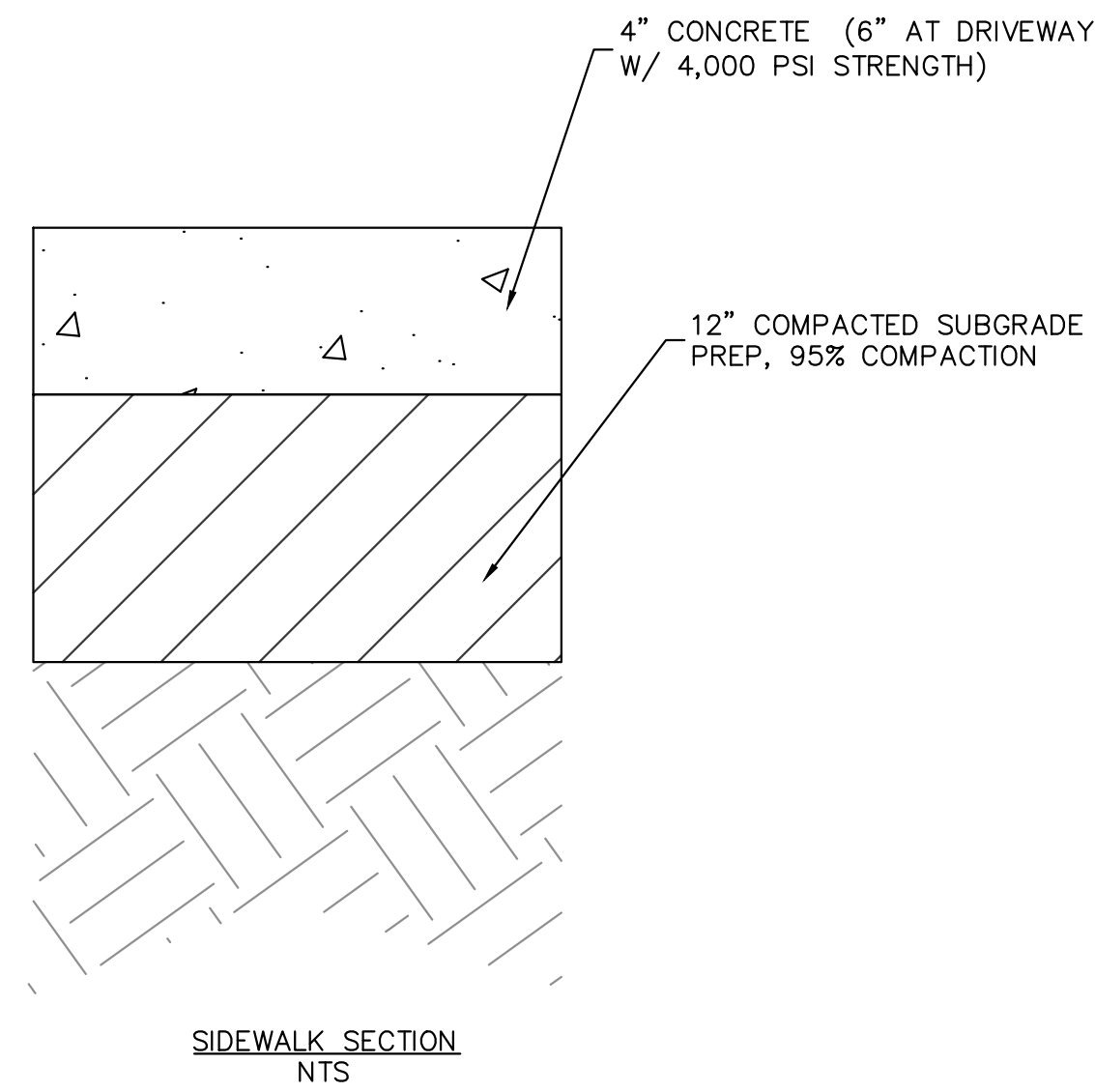
**LEGAL DESCRIPTION:**  
 TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES

**ABB ABQ ADDITION**  
 6625 BLUEWATER ROAD NW  
 SITE PLAN - DFT  
 CONCEPT TRAFFIC CIRCULATION LAYOUT

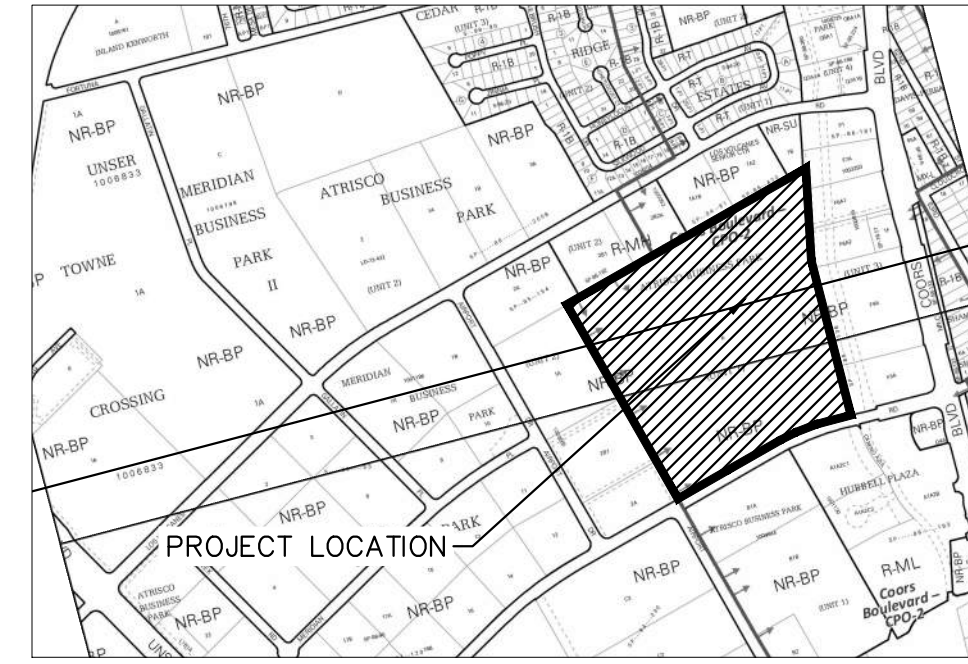
STEPHEN L. LITTON  
 PROFESSIONAL ENGINEER  
 27565  
 4/4/2024

PROJECT NO.  
 096523009  
 SHEET  
 C3.0

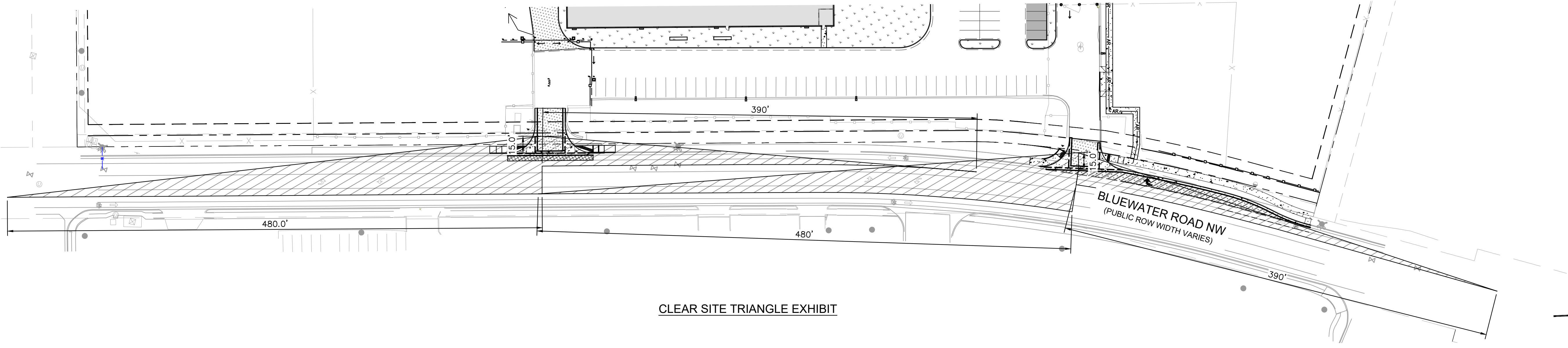
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NOTES:  
1. PAVEMENT SECTIONS ARE BASED ON RECOMMENDATIONS FROM NINYO & MOORE, INC "GEOTECHNICAL EVALUATION", PROJECT #607850001, DATED SEPTEMBER 28, 2023.

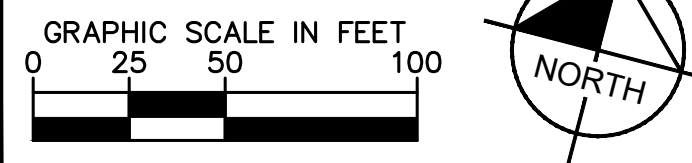


- LEGEND:**
- PROPERTY LINE
  - ADJACENT SECTION LINE
  - - - EX. UTILITY ESMT
  - - - EX. WROUGHT IRON FENCE
  - - - EX. CHAIN LINK FENCE
  - ⊗ EX. FIRE HYDRANT/VALVE
  - ⊗ EX. FLAGPOLE
  - ⊗ EX. SITE LIGHT
  - ⊗ EX. SIGN
  - PROP. 6" VERTICAL CURB PER CITY DTL
  - ▭ PROP. BUILDING (SEE ARCH PLANS)
  - ▭ PROP. HEAVY DUTY ASPHALT (SEE SHEET C2.2)
  - ▭ PROP. LIGHT DUTY ASPHALT (SEE SHEET C2.2)
  - ▭ PROP. CONCRETE (SEE SHEET C2.2)
  - ▭ PROP. LANDSCAPE (SEE LANDSCAPE PLANS)
  - AR ACCESSIBLE ROUTE
  - ⊗ PROP. POLE MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
  - ⊗ PROP. BUILDING MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
  - ⊗ PROPOSED SIGN, TYPE PER KEYNOTES
- KEYNOTE LEGEND:**
- △ SITE TRIANGLE (SEE NOTE THIS SHEET)



**CLEAR SITE TRIANGLE NOTES:**

1. SITE TRIANGLES ARE DESIGN PER THE FOLLOWING:
  - BLUEWATER ROAD SPEED LIMIT: 40 MPH (PER ABQ MAP)
  - STOP CONTROLLED RIGHT TURN SIGHT DISTANCE: 390'
  - STOP CONTROLLED LEFT TURN SIGHT DISTANCE: 480'
2. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGN REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (MEASURED FROM GUTTER PLAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



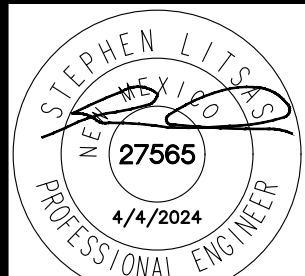
NO.	REVISION	BY	DATE	APPR

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6200 South Syracuse Way, Suite 300  
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ  
DRAWN BY: MEJ  
CHECKED BY: SAL  
DATE: 04/04/2024

**LEGAL DESCRIPTION:**  
TRACT A ATRISCO BUSINESS  
PARK UNIT 1 CONTAINING  
39.775 ACRES

**ABB ABQ ADDITION**  
6625 BLUEWATER ROAD NW  
SITE PLAN - DFT  
SITE TRIANGLES AND DETAILS SHEET



PROJECT NO.  
096523009

SHEET  
C3.1



**ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION**

**PERMIT**  
PERMIT NUMBER: EP 23-016070  
APPROVED DATE: 10/03/23

**APPROVED**

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.  
FIRE FLOW: 4000 GPM EX. BROUGHT IRON FENCE

**LEGEND**

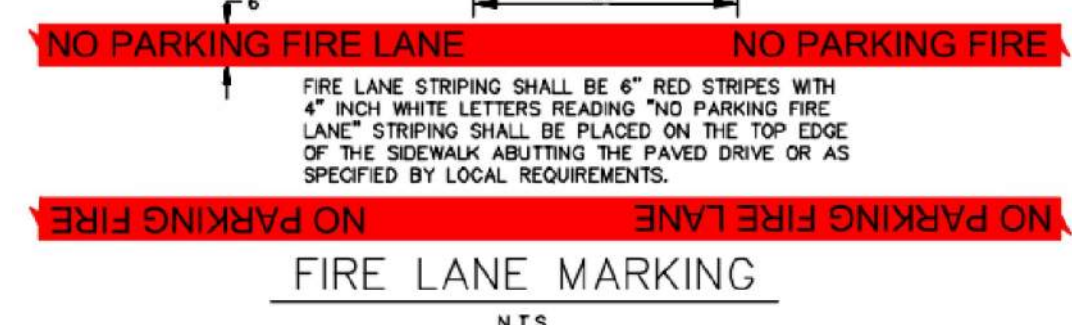
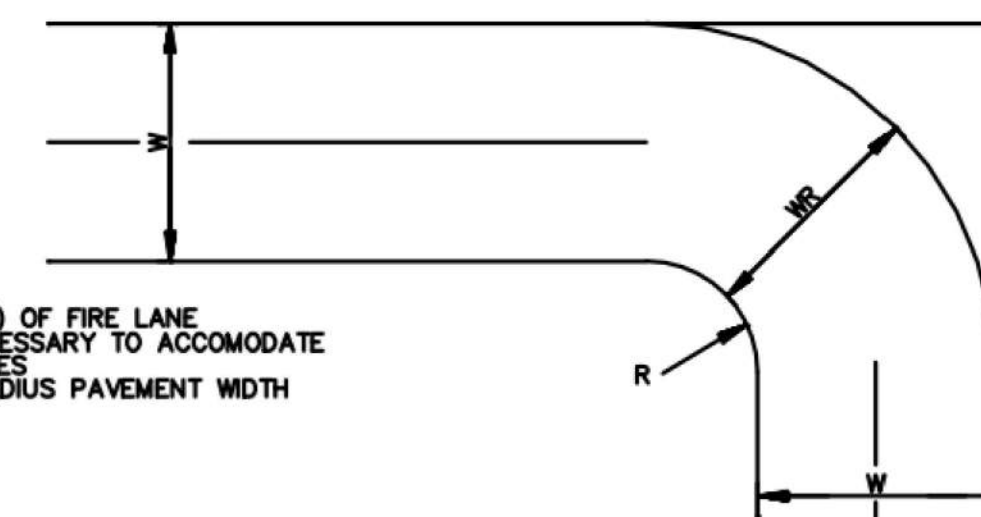
- X — EX. CHAIN LINK FENCE
- H — EX. FIRE HYDRANT/VALVE
- W — EX. WATER LINE
- F — EX. FIRE PROTECTION LINE
- [ ] — PROP. BUILDING EXPANSION
- [ ] — PROP. BUILDING SETBACK
- [ ] — PROP. 6" VERTICAL CURB
- [ ] — PROP. FIRE ACCESS ROAD
- [ ] — PROP. FIRE HYDRANT
- F — PROP. FIRE LINE
- [ ] — PROP. FIRE LANE MARKING

**NOTES:**

1. ON-SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES OR AS DIRECTED BY THE FIRE MARSHALL. SEE FIRE LANE MARKING DETAIL THIS SHEET.
2. FIRE APPARATUS ACCESS ROAD SHALL NOT EXCEED 10% IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING 75,000 LBS.
3. KNOX KEY SWITCH REQUIRED FOR ALL ELECTRIC GATES AND ALL BUILDINGS.
4. ALL CURB ALONG FIRE LANES WILL BE 6" HEADER CURB UNLESS OTHERWISE NOTED ON THE PLAN.

W	R	WR
20'	30'	30' MIN.
25'	20'	30' MIN.
30'	10'	30' MIN.

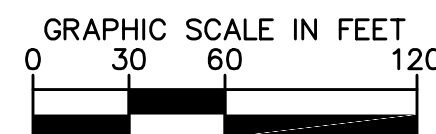
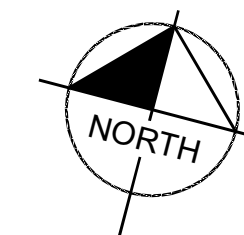
W = WIDTH (feet) OF FIRE LANE  
R = RADIUS NECESSARY TO ACCOMMODATE FIRE VEHICLES  
WR = TURNING RADIUS PAVEMENT WIDTH



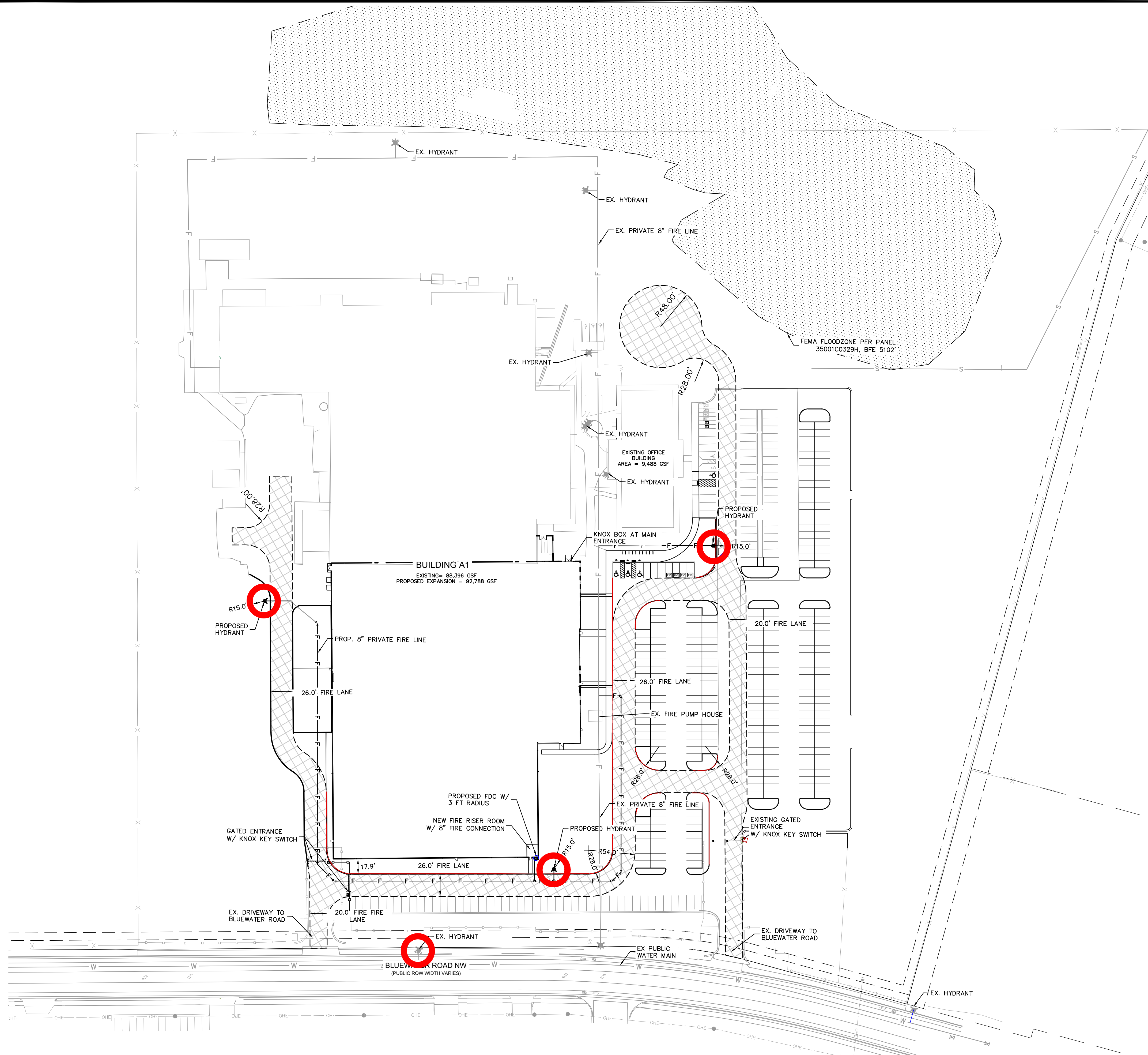
FIRE LANE MARKING  
N.T.S.

**BUILDING A1 (EXISTING + EXPANSION WAREHOUSE)**  
TOTAL BUILDING FOOTPRINT: 92,788 (EXPANSION) + 88,396 SF (EXISTING) = 181,184 GSF  
BUILDING HEIGHT: 32' (EXPANSION) & 27' (EXISTING)  
OCCUPANCY TYPE: F-1 (FACTORY)  
CONSTRUCTION TYPE: TYPE II-B, FULLY SPRINKLED  
SPRINKLER SYSTEM: YES  
FIRE SEPARATION: 4 HOUR RATING  
FIRE-FLOW: 8,000 GPM

**BUILDING A2 (EXISTING OFFICE)**  
TOTAL BUILDING FOOTPRINT: 9,488 GSF  
BUILDING HEIGHT: 17'  
OCCUPANCY TYPE: B (BUSINESS)  
CONSTRUCTION TYPE: TYPE II-B, FULLY SPRINKLED  
SPRINKLER SYSTEM: YES  
FIRE SEPARATION: 2 HOUR RATING  
FIRE-FLOW: 2,250 GPM



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NO.	REVISION	BY	DATE	APPR

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6200 South Syracuse Way, Suite 300  
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ  
DRAWN BY: MEJ  
CHECKED BY: SAL  
DATE: 02/10/2023

**LEGAL DESCRIPTION:**  
TRACT A ATRISCO BUSINESS  
PARK UNIT 1 CONTAINING  
39.775 ACRES

**ABB ABQ ADDITION**  
6625 BLUEWATER ROAD NW  
MAJOR AMENDMENT  
FIRE 1 PLAN

**PRELIMINARY**  
FOR REVIEW ONLY  
NOT FOR CONSTRUCTION  
**Kimley»Horn**  
Kimley-Horn and Associates, Inc.

PROJECT NO.  
096523009

SHEET  
F1



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**LEGEND:**

	PROPERTY LINE
	ADJACENT SECTION LINE
	EX. UTILITY ESMT
	EX. WROUGHT IRON FENCE
	EX. CHAIN LINK FENCE
	EX. FIRE HYDRANT/VALVE
	EX. SANITARY SEWER MANHOLE/CLEANOUT
	EX. SANITARY SEWER LINE
	EX. FLAGPOLE
	EX. OVERHEAD ELECTRICAL
	EX. STORM INLET
	EX. SITE LIGHT
	EX. SIGN

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
DATE: 11/20/23  
BY: *Renee C. Brumell*  
HydroTeam # K10D011

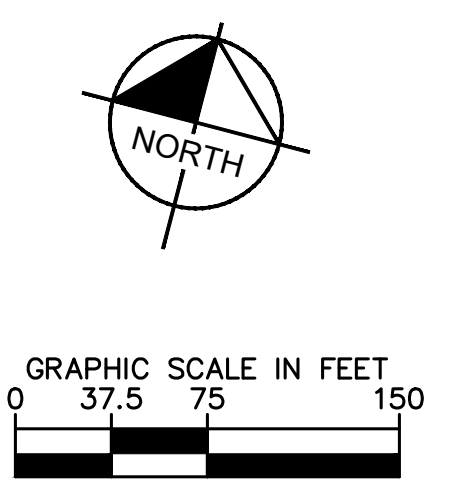
THESE PLANS AND/OR REPORT ARE  
CONCEPTUAL ONLY. MORE INFORMATION MAY  
BE NEEDED IN THEM AND SUBMITTED TO  
HYDROLOGY FOR BUILDING PERMIT APPROVAL.



FEMA FIRMETTE #35001C0329H



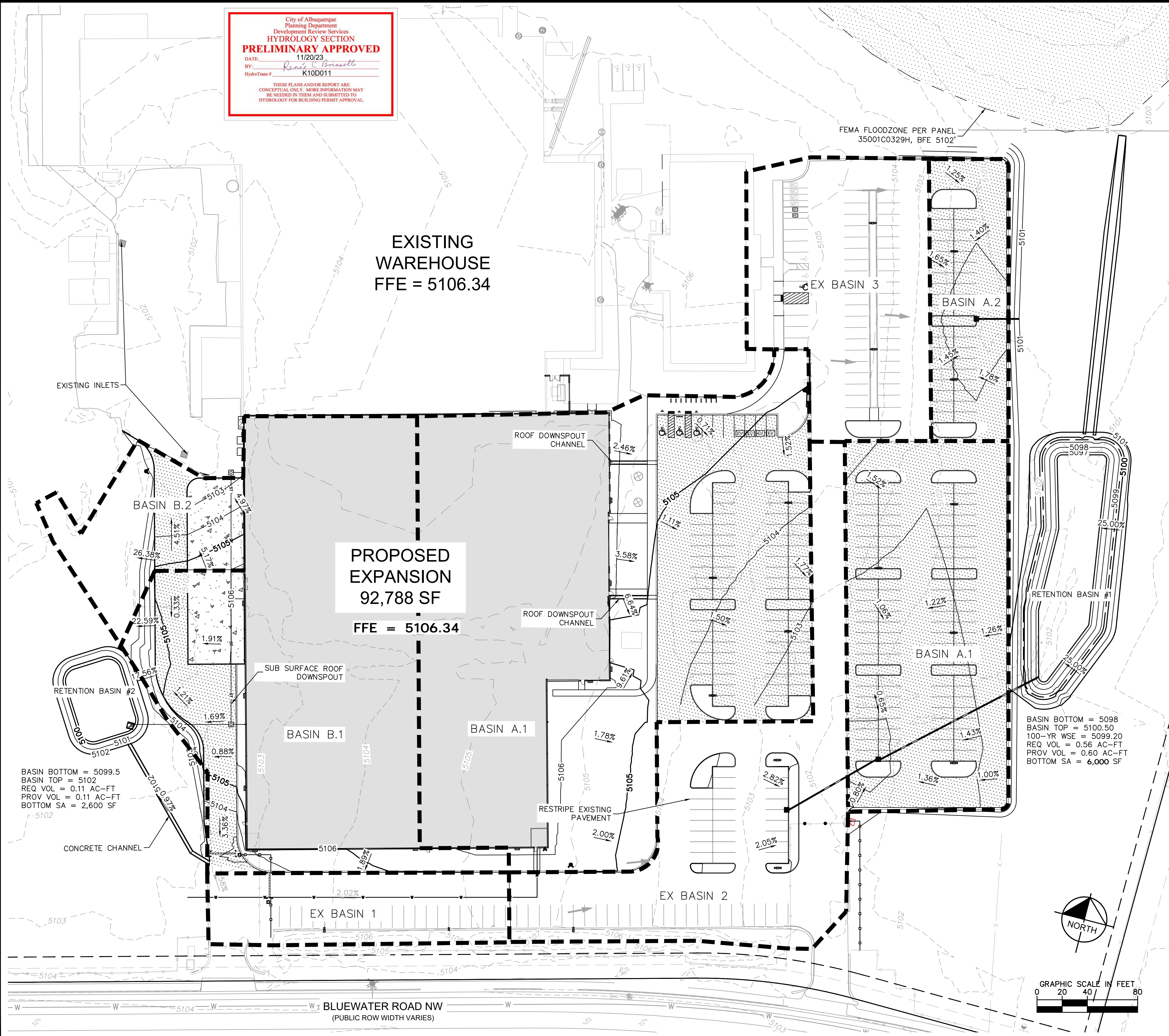
VICINITY MAP - ZONE ATLAS PAGES: K-10-Z & J-10-Z



<h1>Kimley»Horn</h1>	© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 300 Greenwood Village, Colorado 80111 (303) 228-2300			
DESIGNED BY: MEJ DRAWN BY: MEJ CHECKED BY: SAL DATE: 11/06/2023				
<b>LEGAL DESCRIPTION:</b> TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES				
<b>ABB ABQ ADDITION</b> 6625 BLUEWATER ROAD NW <b>SITE PLAN - DFT</b> CONCEPTUAL EXISTING DRAINAGE EXHIBIT				
<b>PRELIMINARY</b> FOR REVIEW ONLY NOT FOR CONSTRUCTION 				
PROJECT NO. 096523009				
SHEET D1				
NO.	REVISION	BY	DATE	APPR

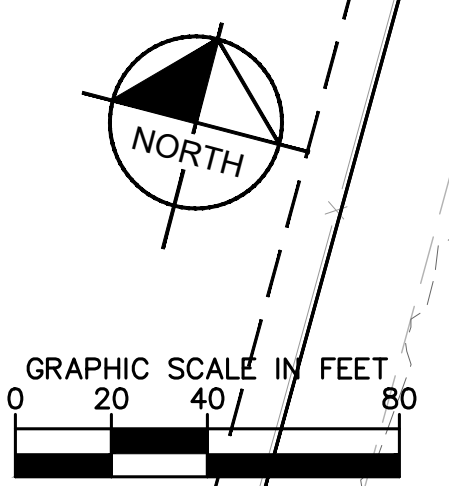
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City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
 DATE: 11/20/23  
 BY: *[Signature]*  
 HydroTrans # K10D011  
 THESE PLANS AND/OR REPORT ARE  
 CONCEPTUAL ONLY. MORE INFORMATION MAY  
 BE NEEDED IN THEM AND SUBMITTED TO  
 HYDROLOGY FOR BUILDING PERMIT APPROVAL.



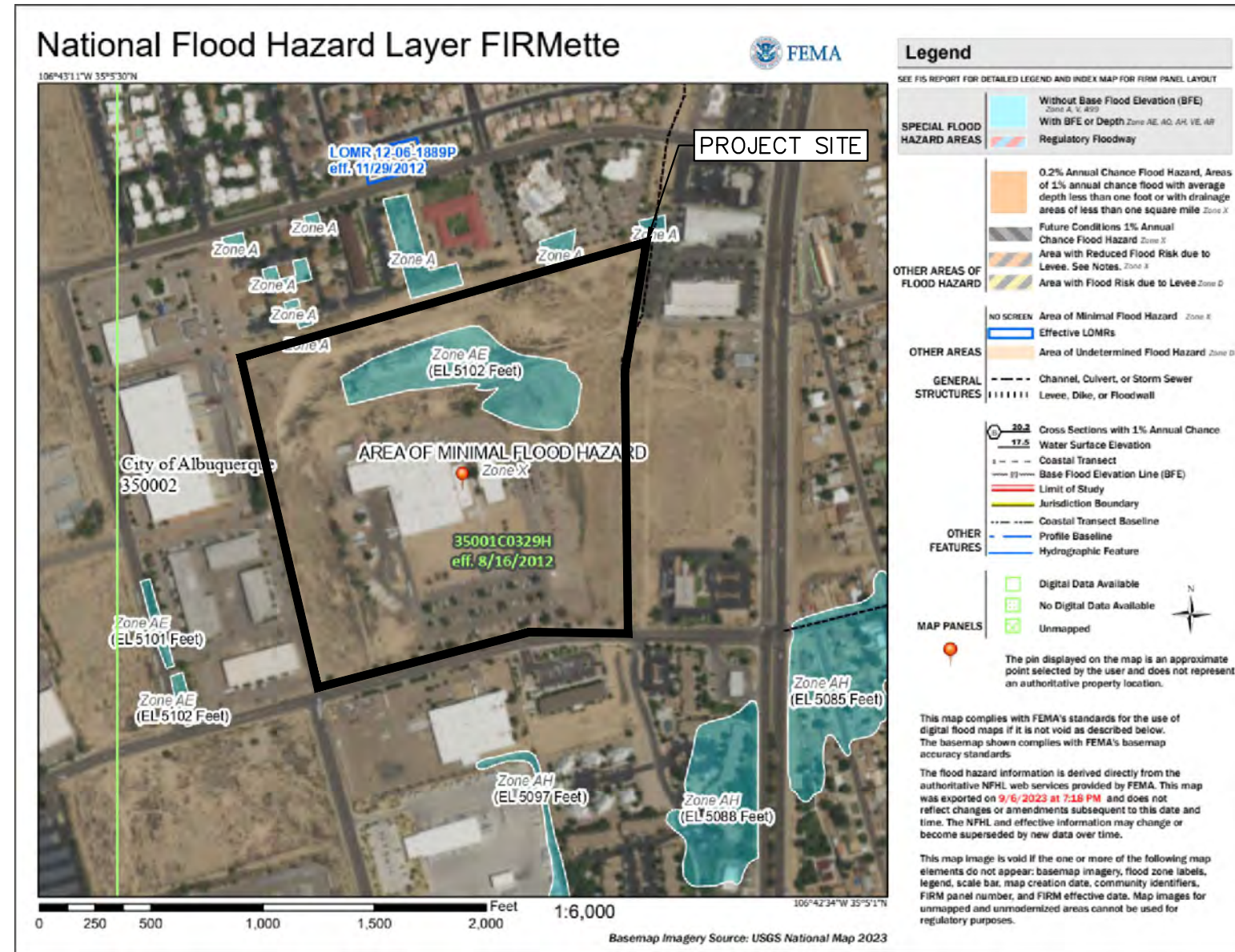
- LEGEND:**
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  - ⊗ EX. FIRE HYDRANT/VALVE
  - ⊙ EX. SANITARY SEWER MANHOLE/CLEANOUT
  - - - EX. SANITARY SEWER LINE
  - ⊗ EX. FLAGPOLE
  - - - EX. OVERHEAD ELECTRICAL
  - EX. STORM INLET
  - ⊙ EX. SITE LIGHT
  - ⊙ EX. SIGN
  - ▬ PROP. 6" VERTICAL CURB
  - ▬ PROP. BUILDING
  - ▬ PROP. PAVEMENT
  - - - PROP. FIRE LANE
  - - - PROP. CONTOUR
  - - - EX. CONTOUR
  - - - PROP. SLOPE ARROW
  - - - PROP. BUILDING SETBACK
  - EX. SLOPE ARROW

- GRADING LEGEND:**
- FLOWLINE = FL
  - BOTTOM OF CURB = BOC
  - FINISHED GRADE = FG
  - EXISTING GRADE = EG
  - FINISHED FLOOR ELEVATION = FFE
  - EDGE OF PAVEMENT = EOP
  - HIGH POINT = HP
  - LOW POINT = LP
  - SIDEWALK = SW
  - CENTERLINE = CL

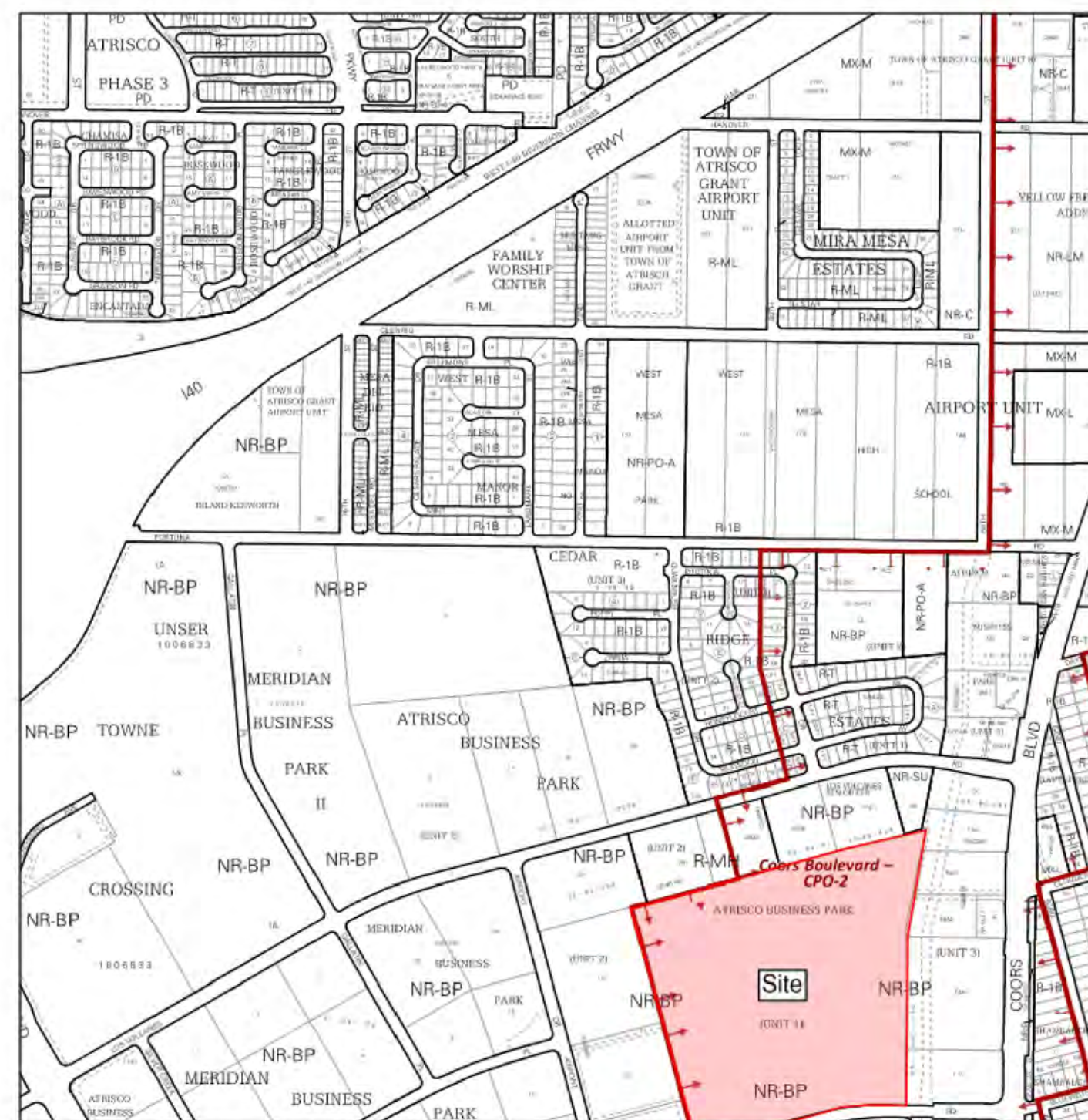


	NO. _____		BY _____		DATE _____
	REVISION _____		NO. _____		DATE _____
<b>Kimley»Horn</b>					
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DESIGNED BY: MEJ DRAWN BY: MEJ CHECKED BY: SAL DATE: 11/06/2023					
<b>LEGAL DESCRIPTION:</b> TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES					
<b>ABB ABQ ADDITION</b> 6625 BLUEWATER ROAD NW <b>SITE PLAN - DFT</b> CONCEPTUAL GRADING & DRAINAGE PLAN					
<b>PRELIMINARY</b> FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley-Horn and Associates, Inc.					
PROJECT NO. 096523009					
SHEET D2					

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**FLOOD ZONE MAP**  
FIRM PANEL: 35001C0329H



**ZONING MAP**  
J-10-Z

**DRAINAGE REPORT**

**SITE LOCATION**

THE PROPOSED PROJECT IS LOCATED ON APPROXIMATELY A 37.97-ACRE SITE. THE SITE IS 800 FEET WEST FROM W COORS BLVD

**EXISTING CONDITIONS**

THE SITE IS PARTIALLY DEVELOPED WITH AN EXISTING APPROX. 90,000 GSF MANUFACTURING WAREHOUSE, ADMINISTRATIVE OFFICE, PAVED AND GRAVEL PARKING LOT, LANDSCAPED OPEN SPACE AND PATHWAYS. THERE IS AN EXISTING AE FLOODZONE ONSITE WITH A BFE OF 5102. SITE RUNOFF IS CURRENTLY CONVEYED TO THE EXISTING FLOODZONE WHICH SERVES AS A RETENTION BASIN. SURFACE RUNOFF FLOWS AND CONCENTRATED FLOWS TO THE RETENTION BASIN. THE EXISTING RETENTION BASIN AND FLOODZONE WILL REMAIN UNTOUCHED.

**PROPOSED CONDITIONS**

THE PROPOSED PROJECT WILL RESULT IN A NEW 90,000 GSF WAREHOUSE AND NEW PORTIONS OF PAVED PARKING. AREAS OF EXISTING PAVEMENT AND DEVELOPED LAWN AREA WILL BE REPLACED WITH THE NEW BUILDING FOOTPRINT. THE NEW PAVED PARKING AREAS WILL REPLACE LOCATIONS OF EXISTING LAWN AND GRAVEL SURFACES. THE PROJECT WILL PRODUCE A NET INCREASE OF IMPERVIOUS AREA ASSOCIATED WITH THE EXPANSION. RUNOFF WILL SHEET FLOW EAST OR WEST WHERE IT WILL FOLLOW HISTORIC DRAINAGE PATTERNS. TWO NEW WATER HARVESTING BASINS (RETENTION BASIN #1 AND #2) ARE PROPOSED TO DETAIN THE NET INCREASE OF REQUIRED 100-YEAR 10-DAY DETENTION VOLUME AS TO NOT INCREASE THE VOLUME OF WATER TRIBUTARY TO THE EXISTING RETENTION BASIN/FLOODZONE. FLOWS EXCEEDING THE NEW RETENTION POND STORAGE VOLUME WILL BYPASS THE BASIN AND CONTINUE TO THE EXISTING RETENTION POND. FLOWS WILL INFILTRATE INTO NATIVE SOILS PER THE 2020 DPM PERCOLATION RATES.

**CONCLUSIONS**

WHEN DEVELOPED AS INDICATED ON THE GRADING AND DRAINAGE PLAN, THE INCREASE RUNOFF FROM THE SITE IS ESTIMATED AT 4.04 CFS. THE NET INCREASE WILL RESULT IN APPROXIMATELY 0.67 CU FT OF RETENTION VOLUME FOR THE 100-YEAR 10-DAY VOLUME. BASIN #1 WILL PROVIDE VOLUME FOR 0.56 AC-FT OF 100-YEAR 10-DAY STORAGE, AND BASIN #2 WILL PROVIDE 0.11 AC-FT OF STORAGE. BASIN BOTTOM SURFACE AREAS ARE DESIGNED SUCH THAT FLOWS WILL INFILTRATE IN THE 96 HOUR DRAIN TIME.

**HYDROLOGY CALCULATIONS**

BASIN #1	Land Treatment (Table 6.2.13)				Total Acreage (ac)	Ew (in)	V(100-10day) ac-ft	Q(100) cfs
	A	B	C	D				
Existing Conditions	0	1.49	1.18	0.88	1.18	2.03	0.48	10.26
Proposed Conditions	0	0.5	0	3.05	3.05	1.18	1.04	13.65
DELTA							0.56	3.39

BASIN #2	Land Treatment (Table 6.2.13)				Total Acreage (ac)	Ew (in)	V(100-10day) ac-ft	Q(100) cfs
	A	B	C	D				
Existing Conditions	0	0.73	0	1.00	1.73	1.96	0.38	5.85
Proposed Conditions	0	0.32	0	1.41	1.73	1.60	0.49	6.50
DELTA							0.11	0.65

Pond	Retention Pond Drain Time				Drain Time Check
	Volume cf	Percolation Rate* inches/hr	Pond Bottom Sq. Ft.	Drain Time hr	
#1	24,394	0.83	6,000	59	Meets Required Drain Time

Pond Volume **0.56** ac-ft

Pond	Retention Pond Drain Time				Drain Time Check
	Volume cf	Percolation Rate* inches/hr	Pond Bottom Sq. Ft.	Drain Time hr	
#2	4,792	0.83	2,600	27	Meets Required Drain Time

Pond Volume **0.11** ac-ft



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DRAWN BY: MEJ  
CHECKED BY: SAL  
DATE: 11/06/2023

LEGAL DESCRIPTION:  
TRACT A ATRISCO BUSINESS  
PARK UNIT 1 CONTAINING  
39.775 ACRES

ABB ABQ ADDITION  
6625 BLUEWATER ROAD NW  
SITE PLAN - DFT  
HYDROLOGY DATA

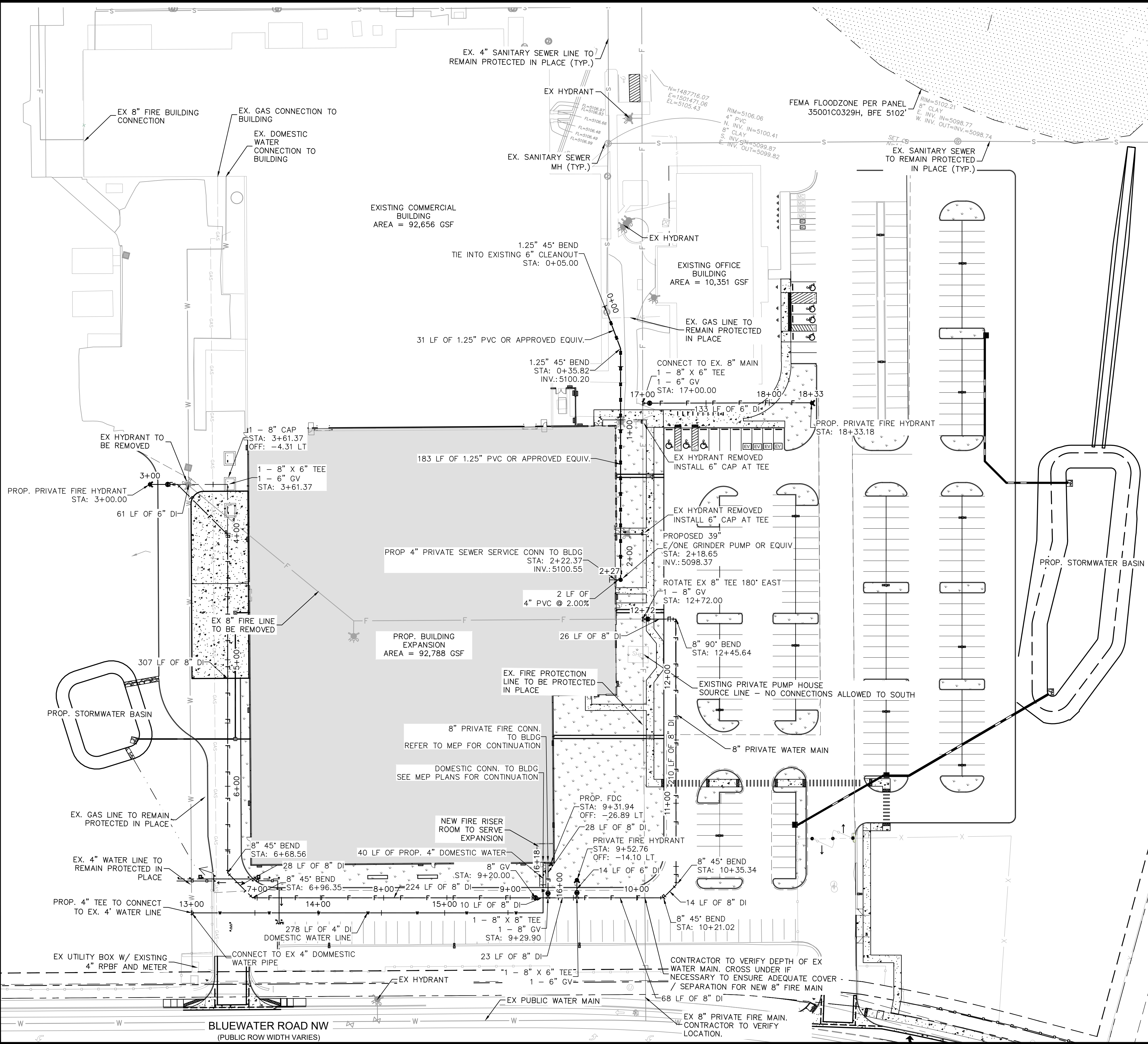
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Kimley-Horn and Associates, Inc.

PROJECT NO.  
096523009

SHEET  
D3

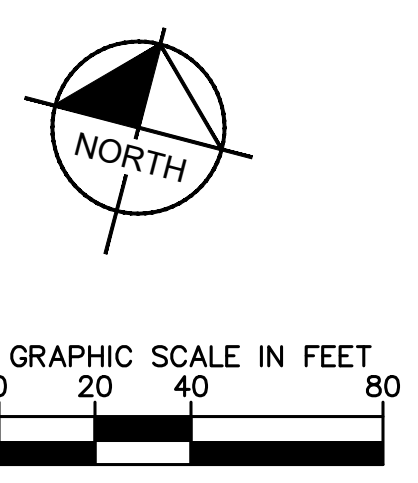
NO.	REVISION	BY	DATE

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  - EX. SANITARY SEWER LINE
  - ⊗ EX. FLAGPOLE
  - EX. OVERHEAD ELECTRICAL
  - EX. GAS LINE
  - ⊗ EX. STORM INLET
  - ⊗ EX. SITE LIGHT
  - EX. SIGN
  - PROP. 6" VERTICAL CURB
  - PROP. BUILDING
  - PROP. FIRE LANE
  - EX. WATER LINE
  - EX. FIRE PROTECTION LINE
  - PROP. FIRE HYDRANT
  - PROP. DOMESTIC LINE
  - PROP. PRIVATE SEWER SERVICE
  - PROP. PRIVATE FIRE LINE
  - PROP. BUILDING SETBACK

- UTILITY GENERAL NOTES:**
- ALL EXISTING UNDERGROUND UTILITIES TO REMAIN PROTECTED IN PLACE DURING CONSTRUCTION.
  - SEE MEP PLANS FOR ALL UTILITY CONNECTIONS INTO BUILDINGS.
  - REFER TO CITY STANDARD AND DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND TRENCH COMPACTION REQUIREMENTS.
  - CONTRACTORS TO NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINES.
  - SANITARY SEWER PIPE SHALL BE AS FOLLOWS:  
PRIVATE = PVC SDR 35 PER ASTM D 304
  - WATER LINES SHALL BE AS FOLLOWS:  
PRIVATE (LARGER THAN 3 INCHES): PVC DR-18 (C-900) PER ASTM D 2241 WITH POLYWRAPPED CAST IRON OR DUCTILE IRON PER AWA C-150  
PRIVATE (3 INCHES OR SMALLER): TYPE "K" SOFT COPPER, ASTM B88 OR PVC DR-18 (C-900) PER ASTM D 2241 OR ADS POTABLE WATER SERVICE TUBING (POLYFLEX - CTS PE4710)
  - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY WITH REGARDS TO MATERIALS AND INSTALLATION OF UTILITIES WITH TCEQ GUIDELINES FOR UTILITY CROSSINGS.



NO.	REVISION	BY	DATE	APPROVED

**Kimley»Horn**  
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 6200 South Syracuse Way, Suite 500  
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ  
 DRAWN BY: MEJ  
 CHECKED BY: SAL  
 DATE: 04/04/2024

**LEGAL DESCRIPTION:**  
 TRACT A, ATRISCO BUSINESS  
 PARK UNIT 1 CONTAINING  
 39.775 ACRES

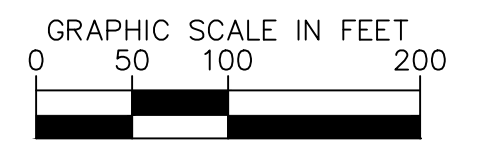
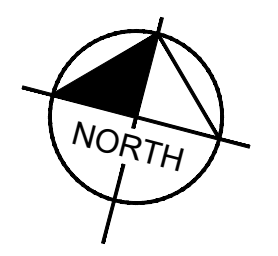
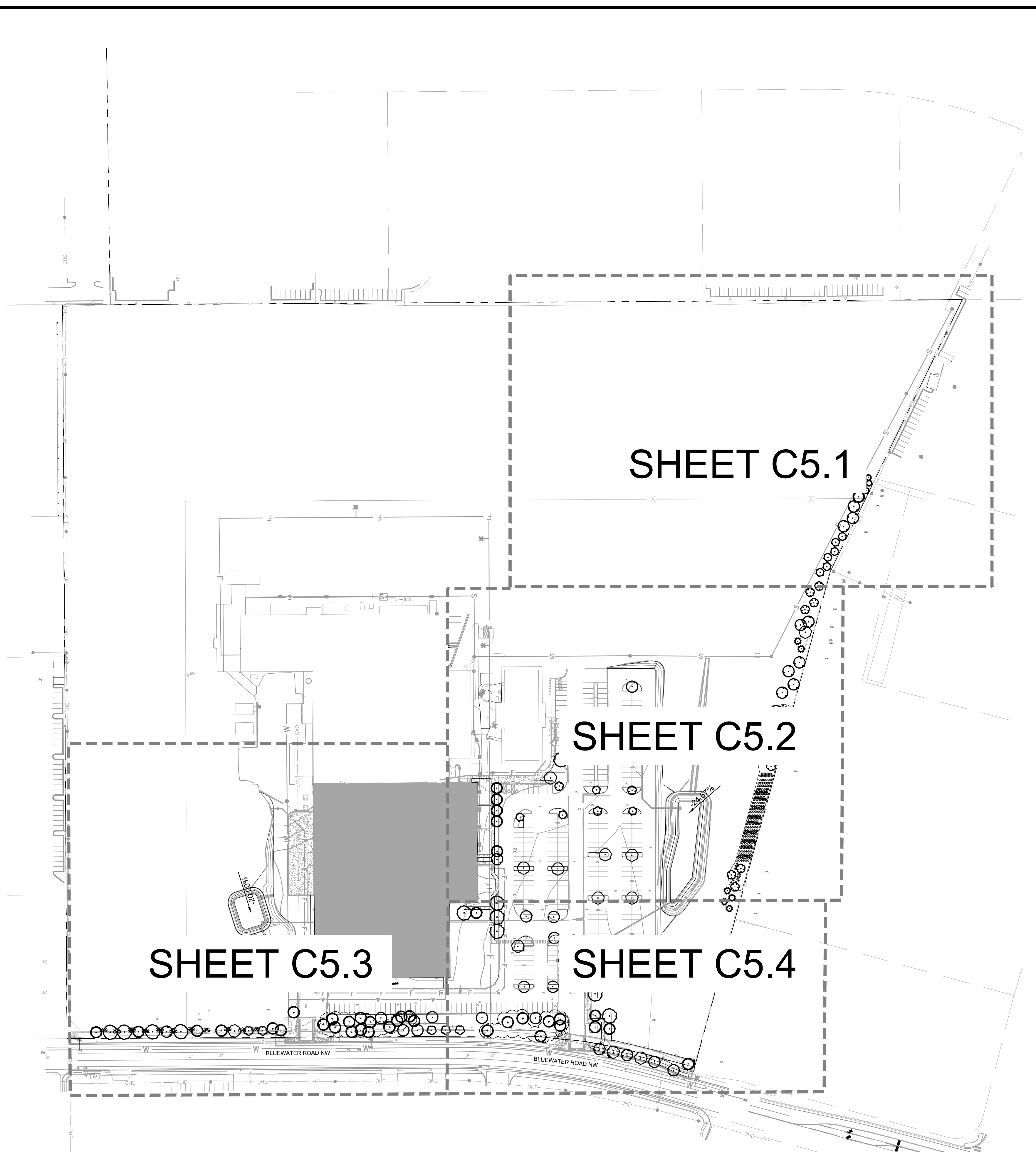
**ABB ABQ ADDITION**  
 6625 BLUEWATER ROAD NW  
 SITE PLAN - DFT  
 PRIVATE UTILITY PLAN



PROJECT NO.  
096523009

SHEET  
C4.0

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NO.	REVISION	BY	DATE	APPR.

**Kimley»Horn**  
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 6200 South Syracuse Way, Suite 300  
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS  
 DRAWN BY: ECS  
 CHECKED BY: EWS  
 DATE: 4/4/2024

**LEGAL DESCRIPTION:**  
 TRACT A ATRISCO BUSINESS  
 PARK UNIT 1 CONTAINING  
 39.775 ACRES

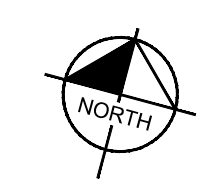
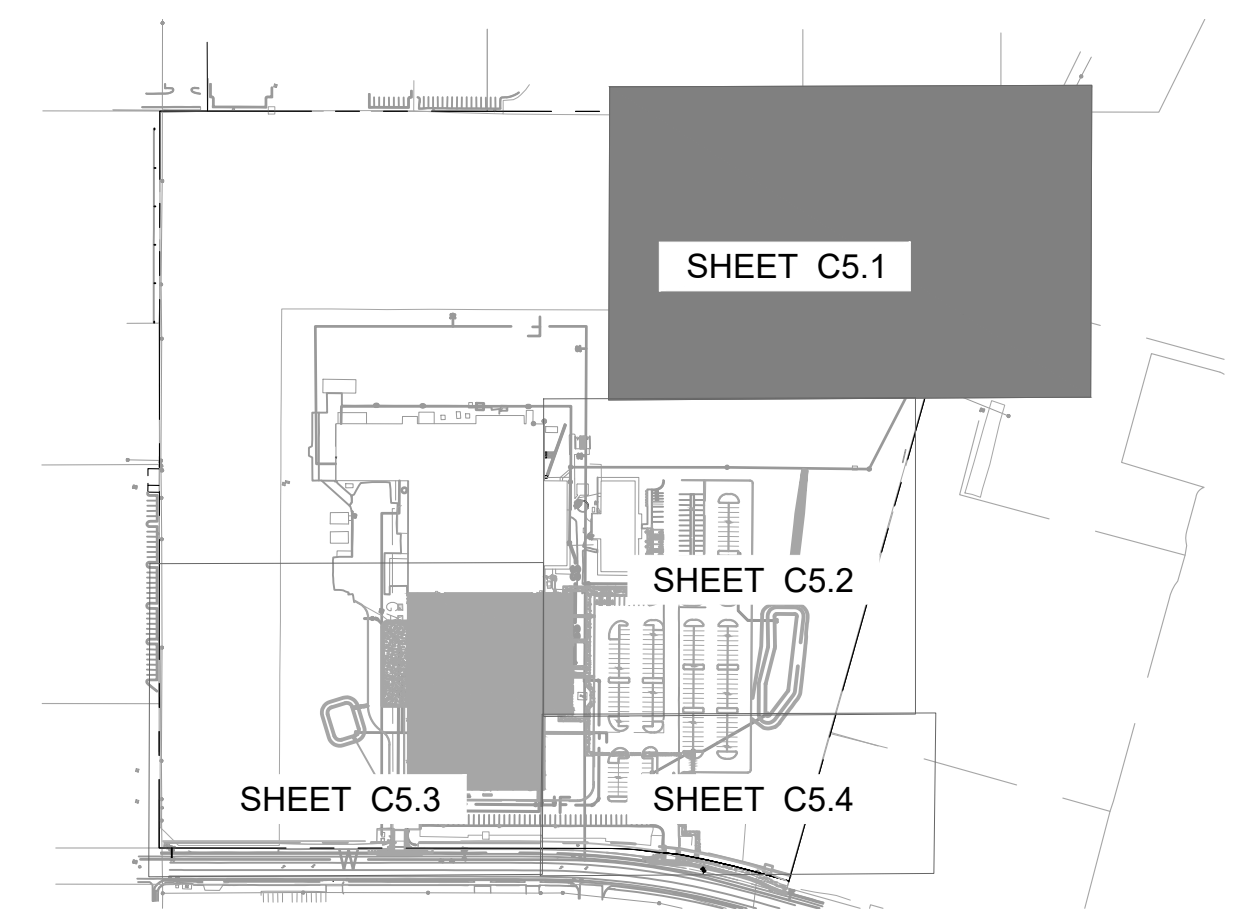
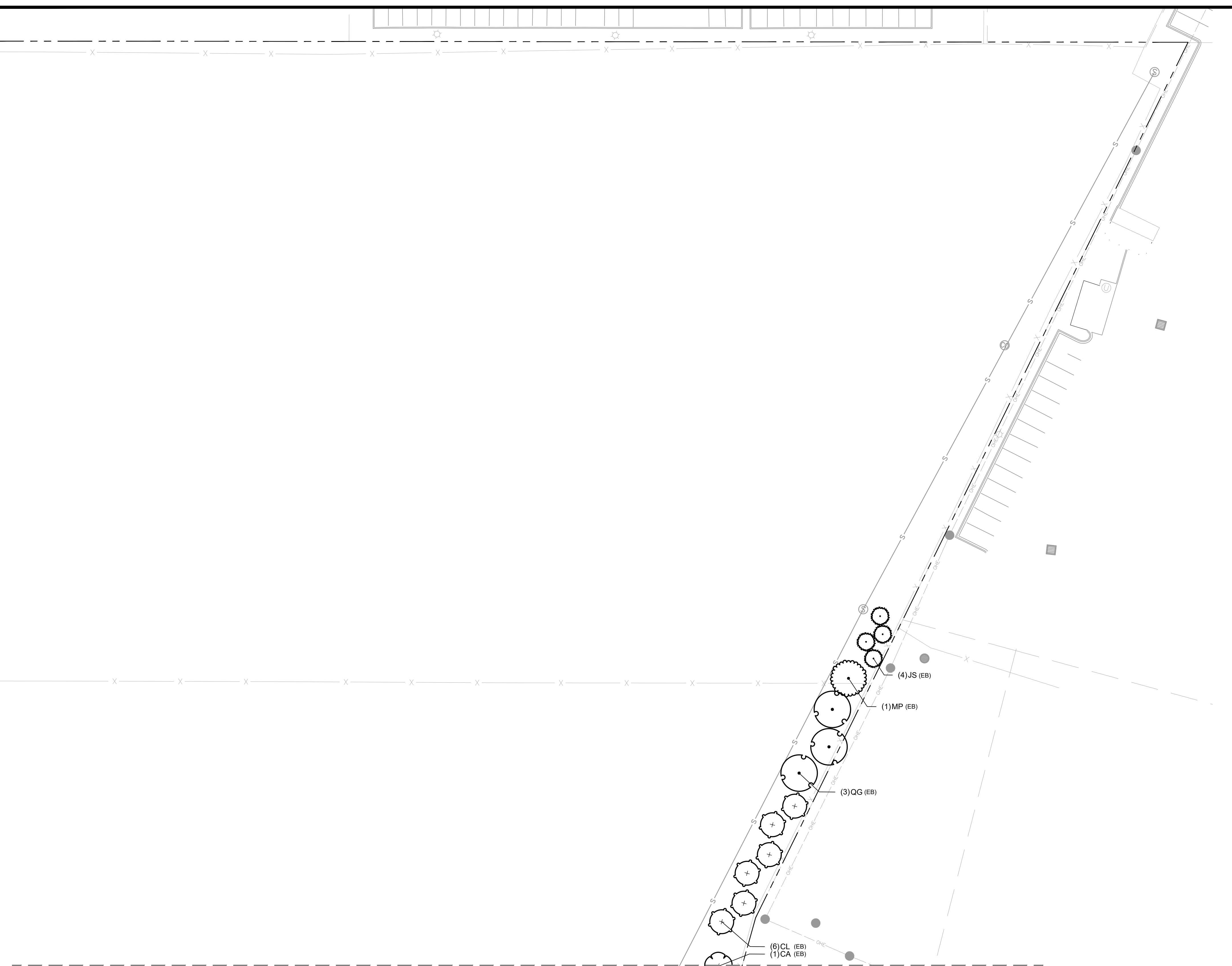
**ABB ABQ ADDITION**  
 6625 BLUEWATER ROAD NW  
 SITE PLAN - DFT  
 OVERALL LANDSCAPE PLAN

4/4/2024

PROJECT NO.  
096523009

SHEET  
**C5.0**

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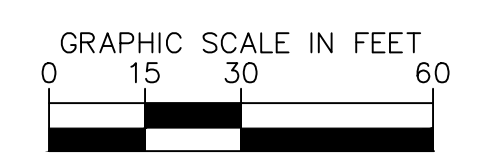
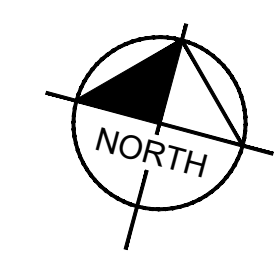
KEY MAP  
N.T.S

SYMBOL	CODE	QTY	BUFFER	LANDSCAPE AREA	STREET SCAPE	BOTANICAL NAME	COMMON NAME
	XL2	8,281 SF		8,281 SF		1-4" AGGREGATE MULCH ROCK	1-4" ANGULAR AGGREGATE MULCH
	XT	4,093 SF		4,093 SF		2-4" AGGREGATE MULCH ROCK	2-4" ANGULAR AGGREGATE MULCH
	RM	57,793 SF	9,350 SF	37,750 SF	10,693 SF	3/4"-1" ROCK MULCH	TO MATCH EXISTING
	XL	24,890 SF		24,890 SF		APPLEWOOD NATIVE SEED MIX	NATIVE SEED MIX
	XA	8,060 SF		8,060 SF		APPLEWOOD SEED MIX	DETENTION SEED MIX

MATCHLINE; SEE SHEET C5.2

SEE SHEET C5.9 - LANDSCAPE DETAILS FOR COMPLETE PLANT SCHEDULE

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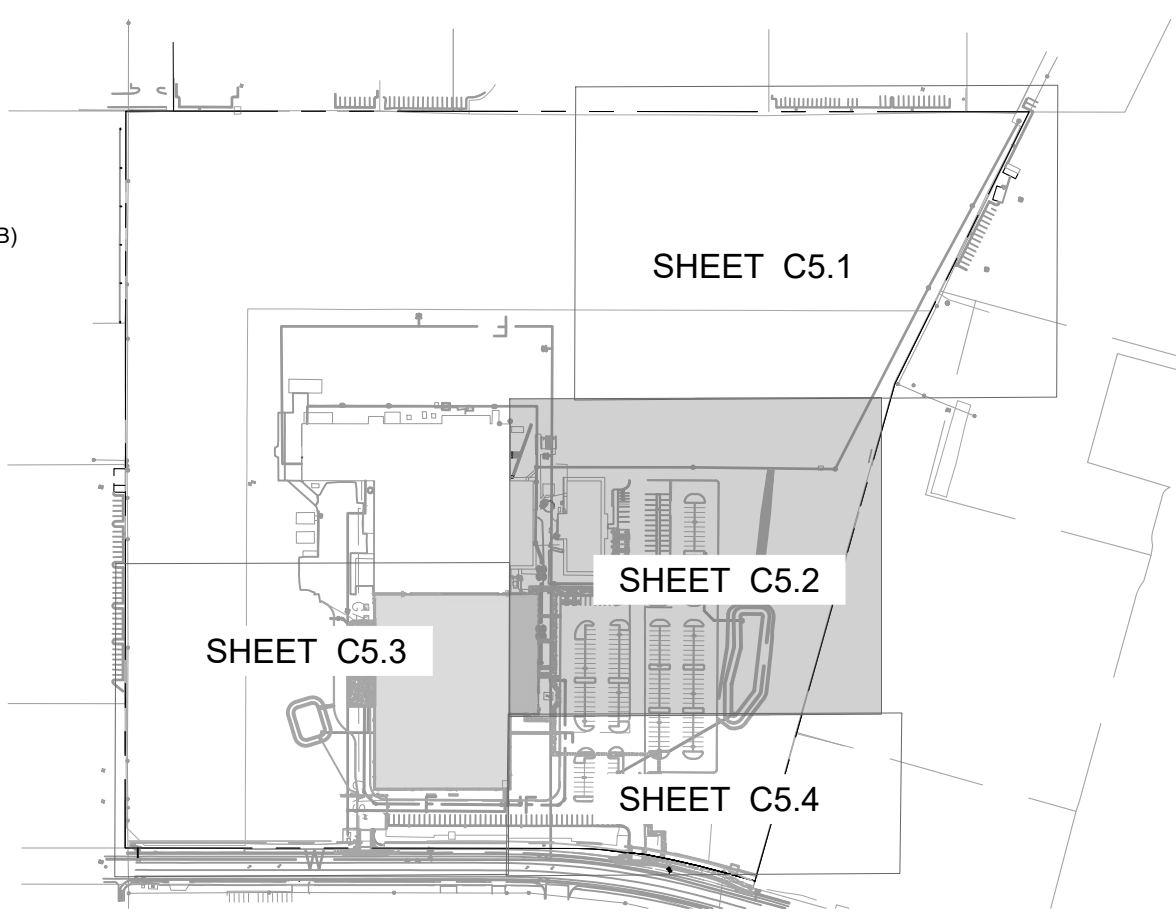
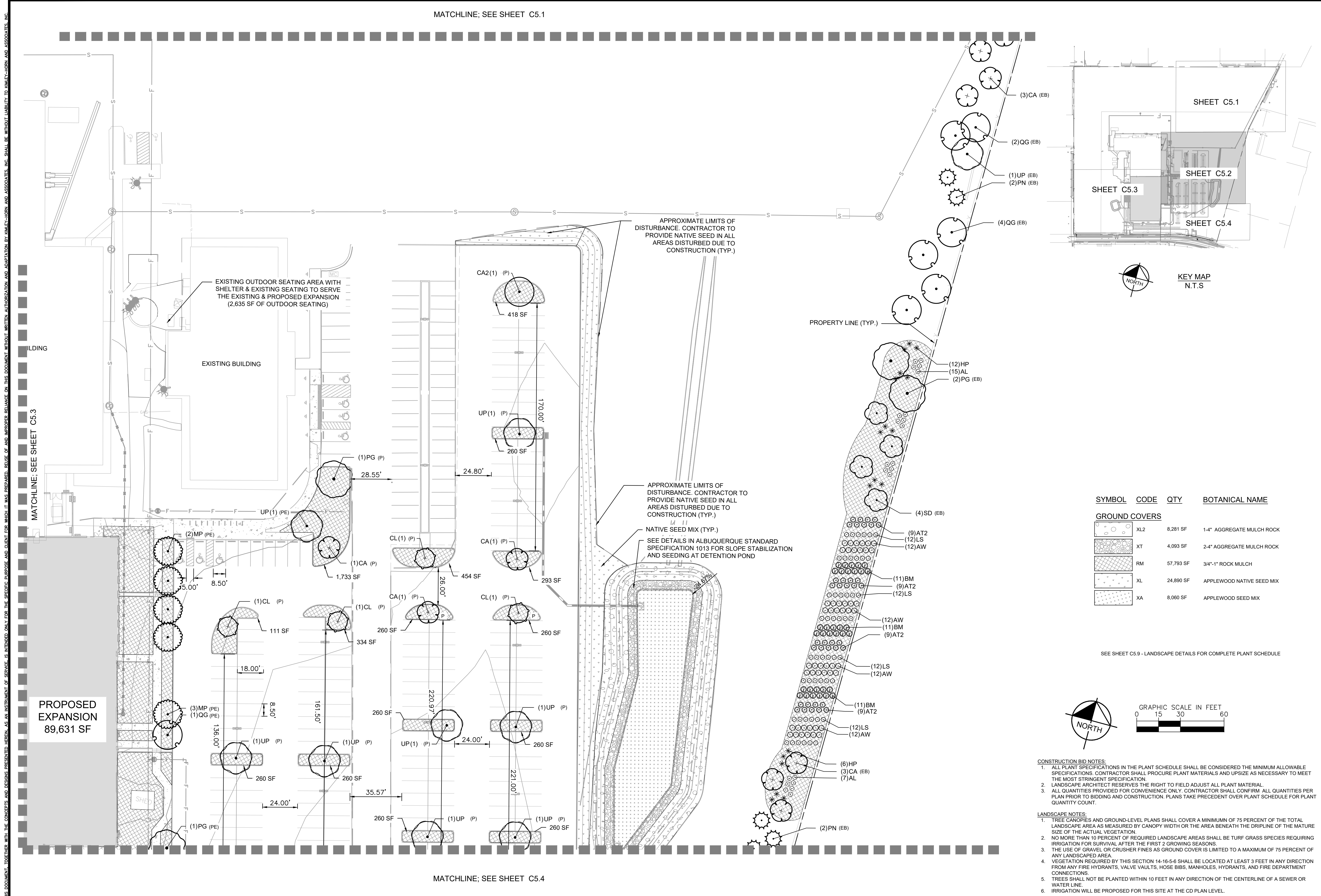
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 PARK UNIT 1 CONTAINING  
 39.775 ACRES

**ABB ABQ ADDITION**  
 6625 BLUEWATER ROAD NW  
 SITE PLAN - DFT  
 DETAILED LANDSCAPE PLAN

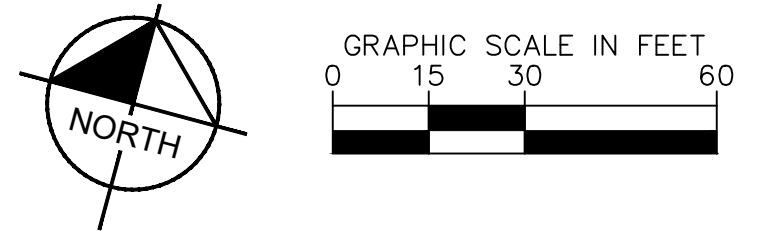
4/4/2024

PROJECT NO.  
096523009

SHEET  
**C5.1**



SYMBOL	CODE	QTY	BOTANICAL NAME
<b>GROUND COVERS</b>			
	XL2	8,281 SF	1-4" AGGREGATE MULCH ROCK
	XT	4,093 SF	2-4" AGGREGATE MULCH ROCK
	RM	57,793 SF	3/4"-1" ROCK MULCH
	XL	24,890 SF	APPLEWOOD NATIVE SEED MIX
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NO.	REVISION	BY	DATE	APPR.

**Kimley»Horn**

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Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS  
DRAWN BY: ECS  
CHECKED BY: EIWS  
DATE: 4/4/2024

**LEGAL DESCRIPTION:**  
TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES

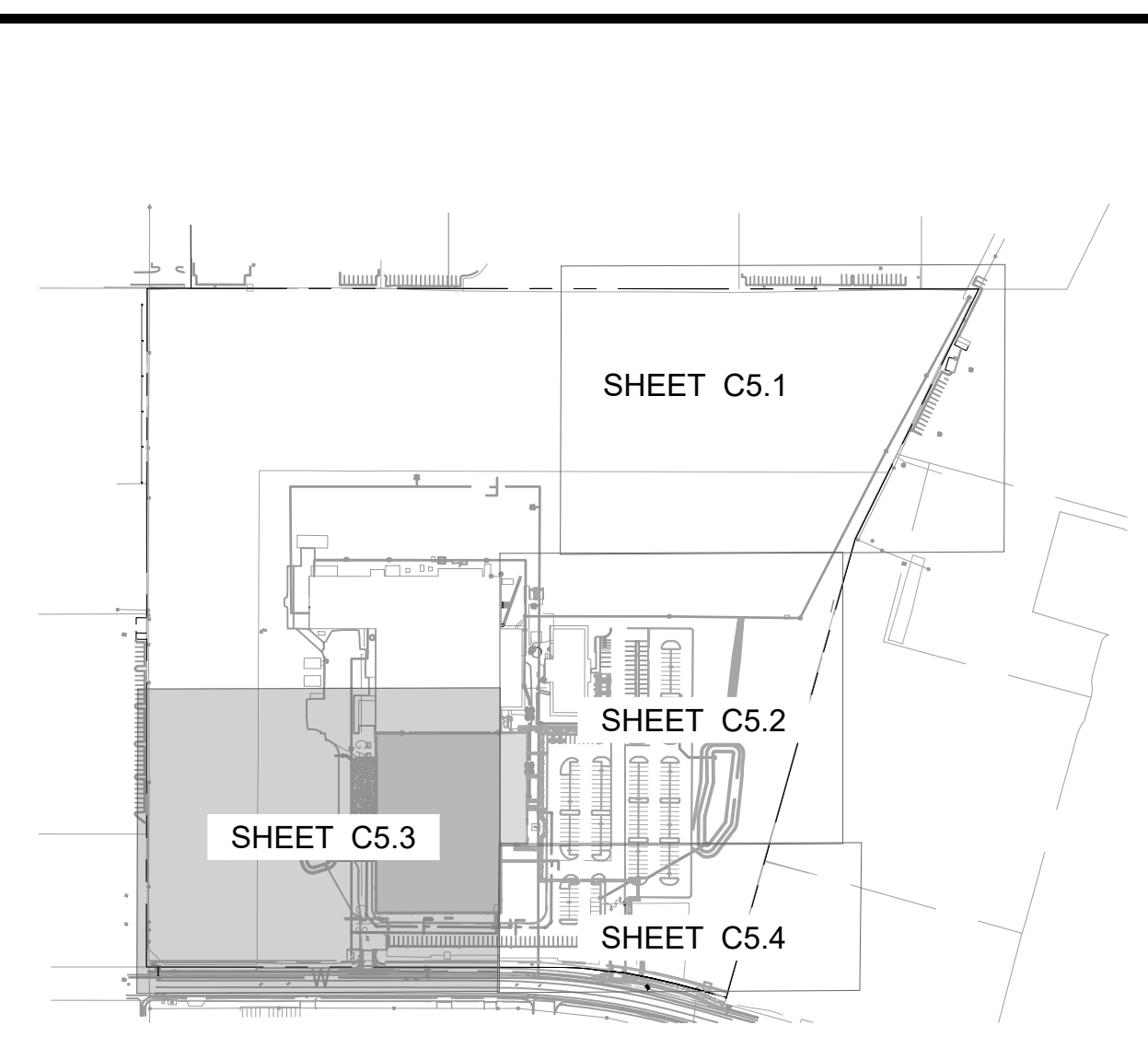
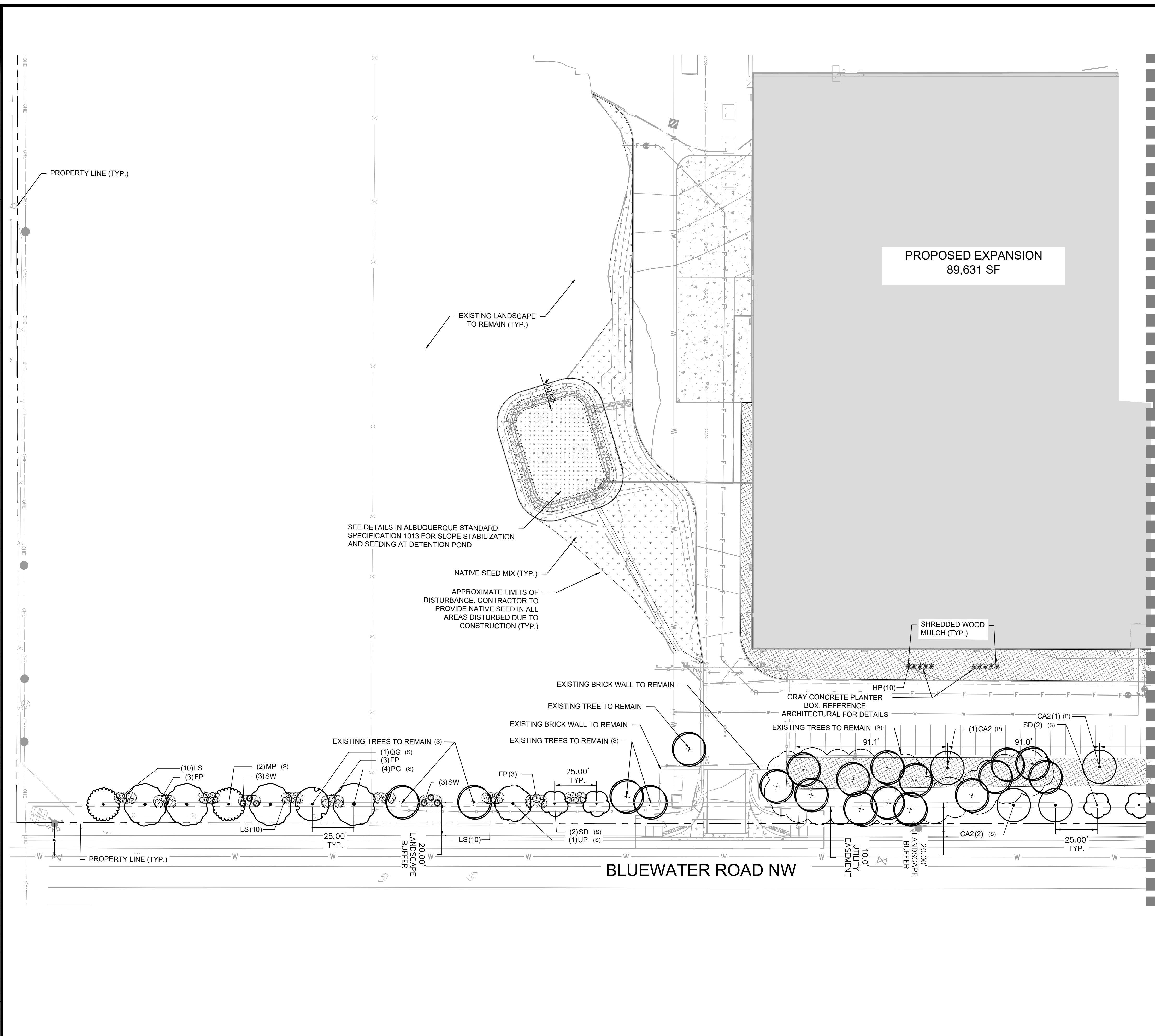
**ABB ABQ ADDITION**  
6625 BLUEWATER ROAD NW  
SITE PLAN - DFT  
DETAILED LANDSCAPE PLAN

4/4/2024

PROJECT NO.  
096523009

SHEET  
**C5.2**

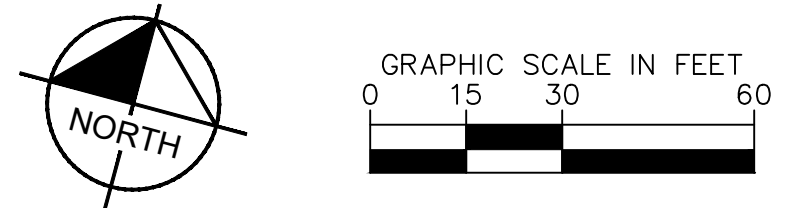
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MATCHLINE: SEE SHEET C5.2  
MATCHLINE: SEE SHEET C5.4

SYMBOL	CODE	QTY	BOTANICAL NAME
[Symbol]	XL2	8,281 SF	1-4" AGGREGATE MULCH ROCK
[Symbol]	XT	4,093 SF	2-4" AGGREGATE MULCH ROCK
[Symbol]	RM	57,793 SF	3/4"-1" ROCK MULCH
[Symbol]	XL	24,890 SF	APPLEWOOD NATIVE SEED MIX
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SEE SHEET C5.9 - LANDSCAPE DETAILS FOR COMPLETE PLANT SCHEDULE

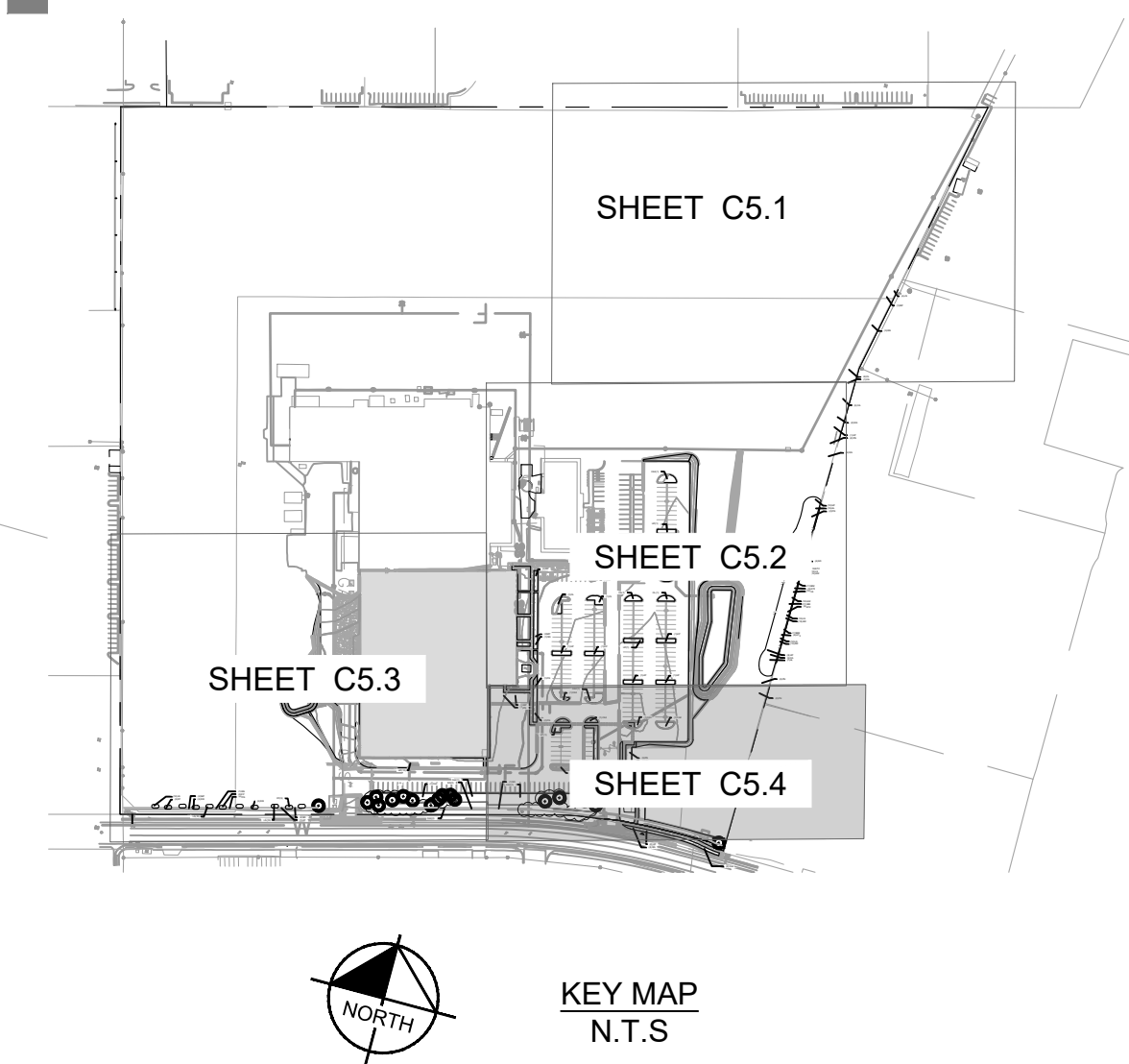
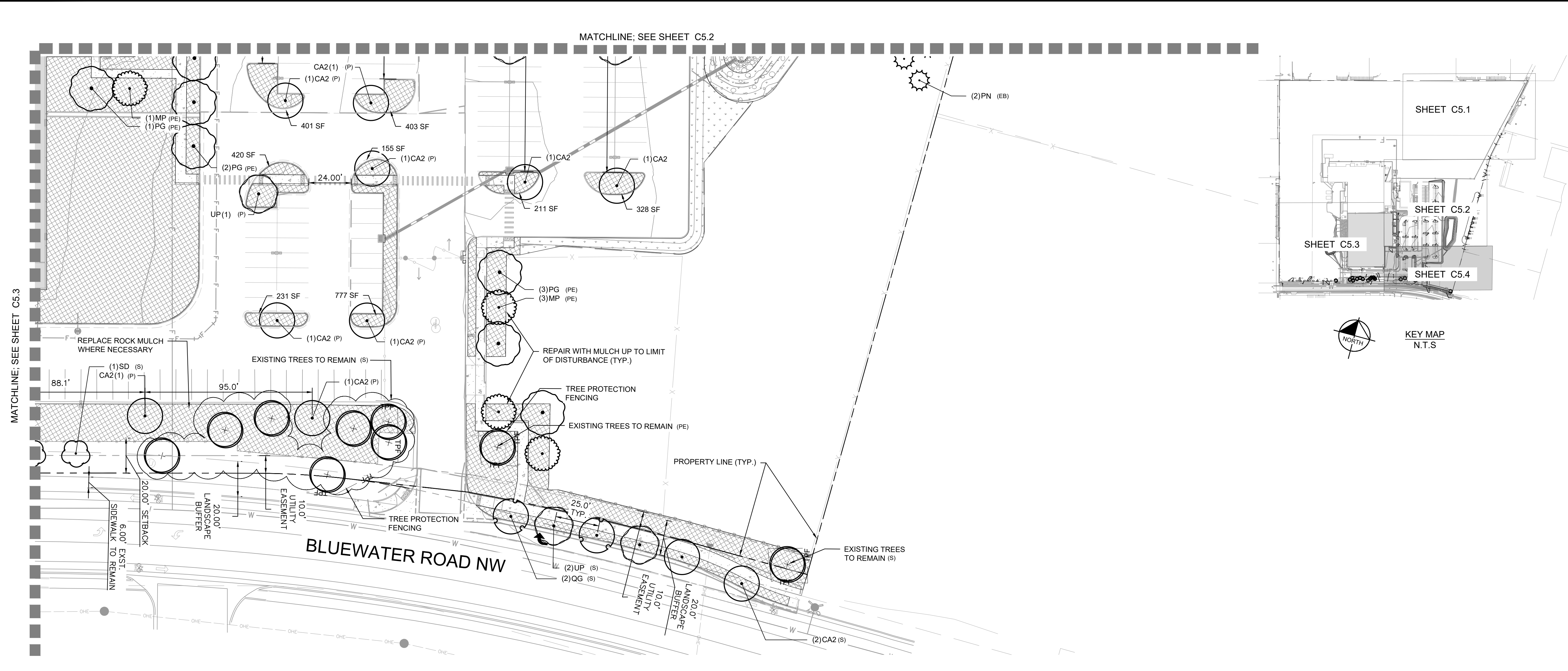


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NO.	REVISION	BY	DATE	APPR.
<h1>Kimley-Horn</h1> <p>© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 300 Greenwood Village, Colorado 80111 (303) 228-2300</p>				
<b>DESIGNED BY:</b> ECS <b>DRAWN BY:</b> ECS <b>CHECKED BY:</b> EIWS <b>DATE:</b> 4/4/2024				
<b>LEGAL DESCRIPTION:</b> TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES				
<b>ABB ABQ ADDITION</b> 6625 BLUEWATER ROAD NW <b>SITE PLAN - DFT</b> <b>DETAILED LANDSCAPE PLAN</b>				
4/4/2024				
<b>PROJECT NO.</b> 096523009				
<b>SHEET</b> <b>C5.3</b>				



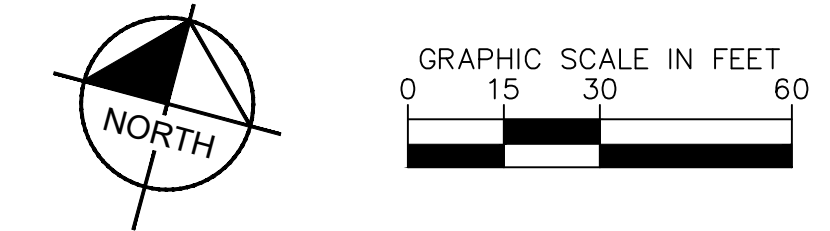
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### PLANT SCHEDULE LANDSCAPE AREA

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
<b>TREES</b>			
	XI	28	----- EXISTING TREE TO REMAIN
<b>DECIDUOUS TREES</b>			
	CA2	16	CRATAEGUS AMBIGUA RUSSIAN HAWTHORN
	MP	12	MACLURA POMIFERA OSAGE ORANGE
	PG	14	PROSOPIS GLANDULOSA HONEY MESQUITE
	QG	13	QUERCUS GAMBELII GAMBEL OAK
	SD	9	SAPINDUS DRUMMONDII WESTERN SOAPBERRY
	UP	13	ULMUS PARVIFOLIA LACEBARK ELM
<b>EVERGREEN TREES</b>			
	JS	4	JUNIPERUS MONOSPERMA ONESEED JUNIPER
	PN	6	PINUS NIGRA AUSTRIAN PINE

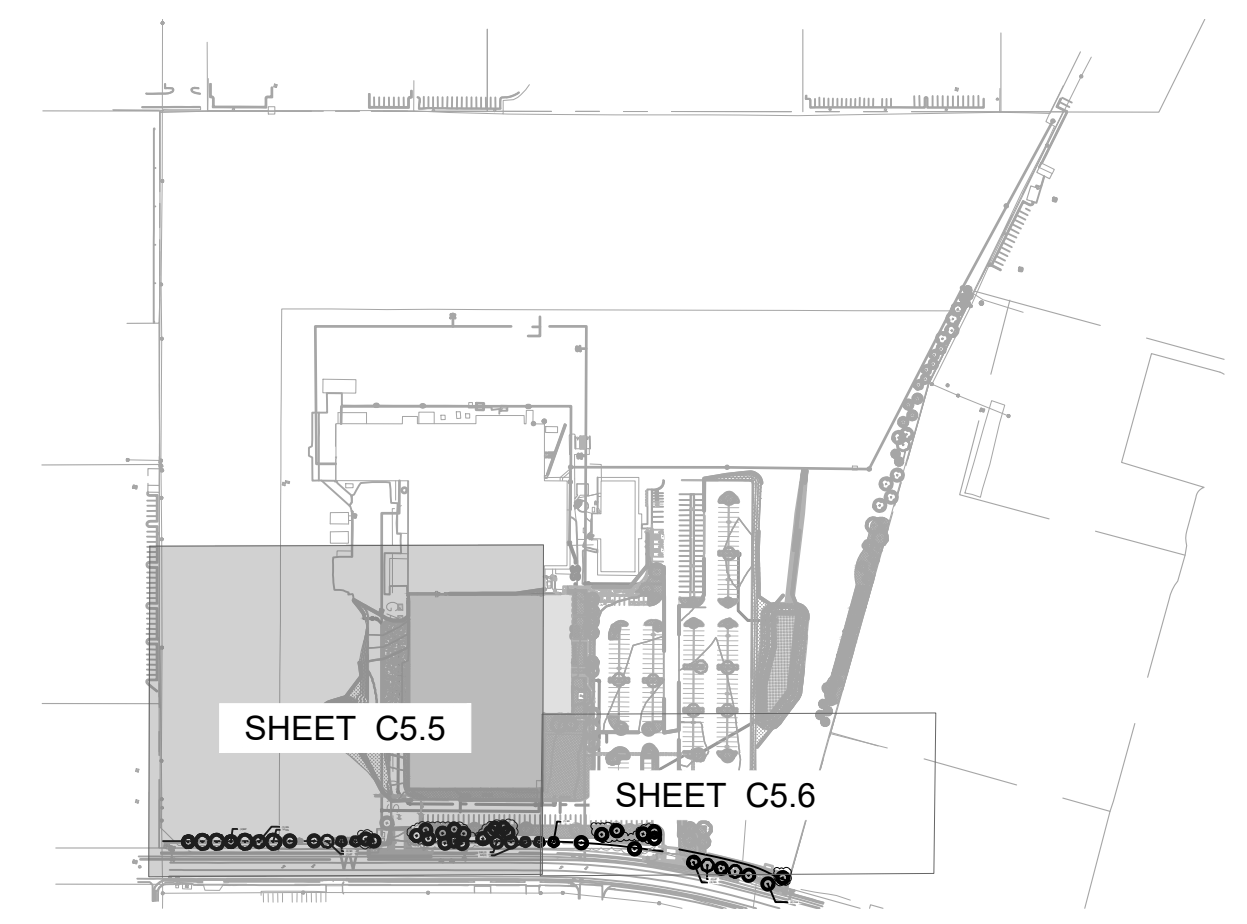
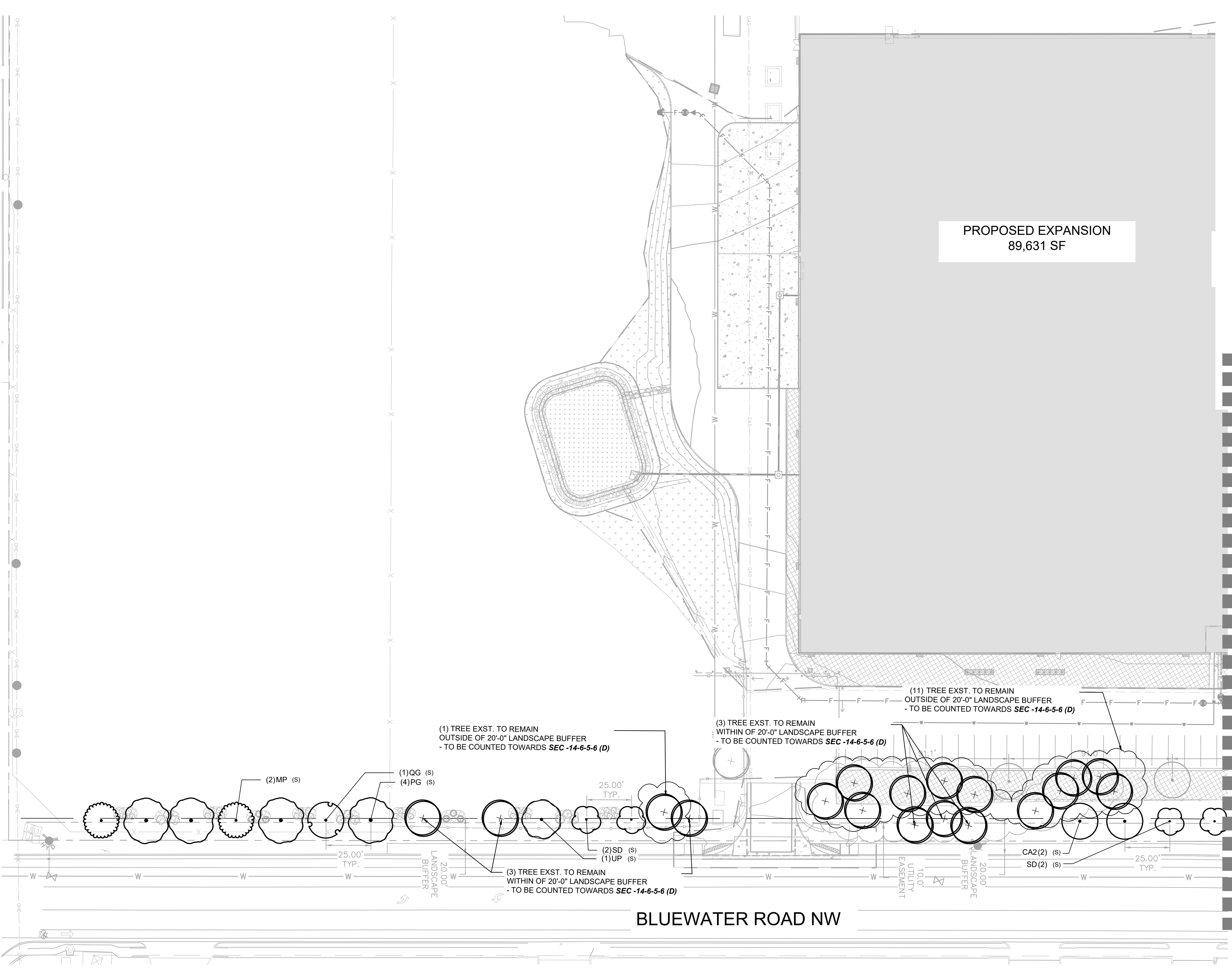
<b>ORNAMENTAL TREES</b>			
	CL	10	CHILOPSIS LINEARIS DESERT WILLOW
	CA	10	CRATAEGUS AMBIGUA RUSSIAN HAWTHORN
<b>SHRUBS</b>			
	AL	22	AMORPHA CANESCENS LEADPLANT
	AW	48	ANISACANTHUS WRIGHTII WRIGHT'S DESERT HONEYSUCKLE
	AT2	36	ARTEMISIA TRIDENTATA BIG SAGEBRUSH
	BM	33	BUDDLEJA MARRUBIFOLIA WOOLLY BUTTERFLY BUSH
	FP	9	FALLUGIA PARADOXA APACHE PLUME
	HP	28	HESPERALOE PARVIFLORA RED YUCCA
	LS	78	LEUCOPHYLLUM FRUTESCENS 'COMPACTA' COMPACT TEXAS RANGER
<b>ORNAMENTAL GRASSES</b>			
	SW	6	SPOROBOOLUS WRIGHTII BIG SACATON
<b>GROUND COVERS</b>			
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			APPLEWOOD NATIVE SEED MIX
			NATIVE SEED MIX
			APPLEWOOD SEED MIX
			DETENTION SEED MIX



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	DESIGNED BY: ECS DRAWN BY: ECS CHECKED BY: EWS DATE: 4/4/2024
LEGAL DESCRIPTION: TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES	NO. _____ BY _____ DATE _____ REVISION _____
<b>ABB ABQ ADDITION</b> 6625 BLUEWATER ROAD NW SITE PLAN - DFT DETAILED LANDSCAPE PLAN	4/4/2024 PROJECT NO. 096523009 SHEET <b>C5.4</b>

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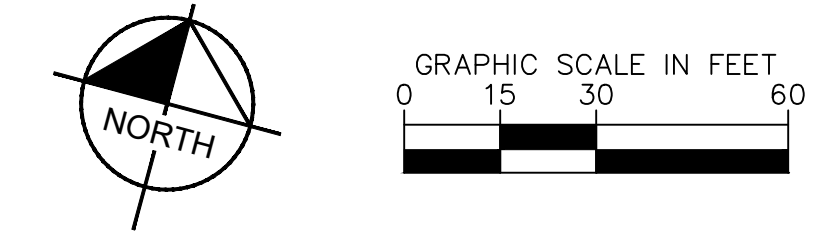


**KEY MAP**  
N.T.S

**ALTERNATE LANDSCAPE**  
STREET FRONTAGE 14-6-5-6(D)

1 TREE / 25 LF OF STREET FRONTAGE REQUIRED =	45 TREES
TOTAL TREES PROPOSED	21 TREES
TOTAL EXISTING TREES TO REMAIN FOR STREET FRONTAGE REQ.	26 TREES
EXISTING TREES WITHIN 20'-0" LANDSCAPE BUFFER	8 TREES
EXISTING TREES OUTSIDE 20'-0" LANDSCAPE BUFFER	18 TREES
TOTAL TREES PROVIDED (EXISTING AND PROPOSED)	47 TREES

MATCHLINE: SEE SHEET C5.6



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6200 South Syracuse Way, Suite 300  
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS  
DRAWN BY: ECS  
CHECKED BY: EIWS  
DATE: 4/4/2024

**LEGAL DESCRIPTION:**  
TRACT A ATRISCO BUSINESS  
PARK UNIT 1 CONTAINING  
39.775 ACRES

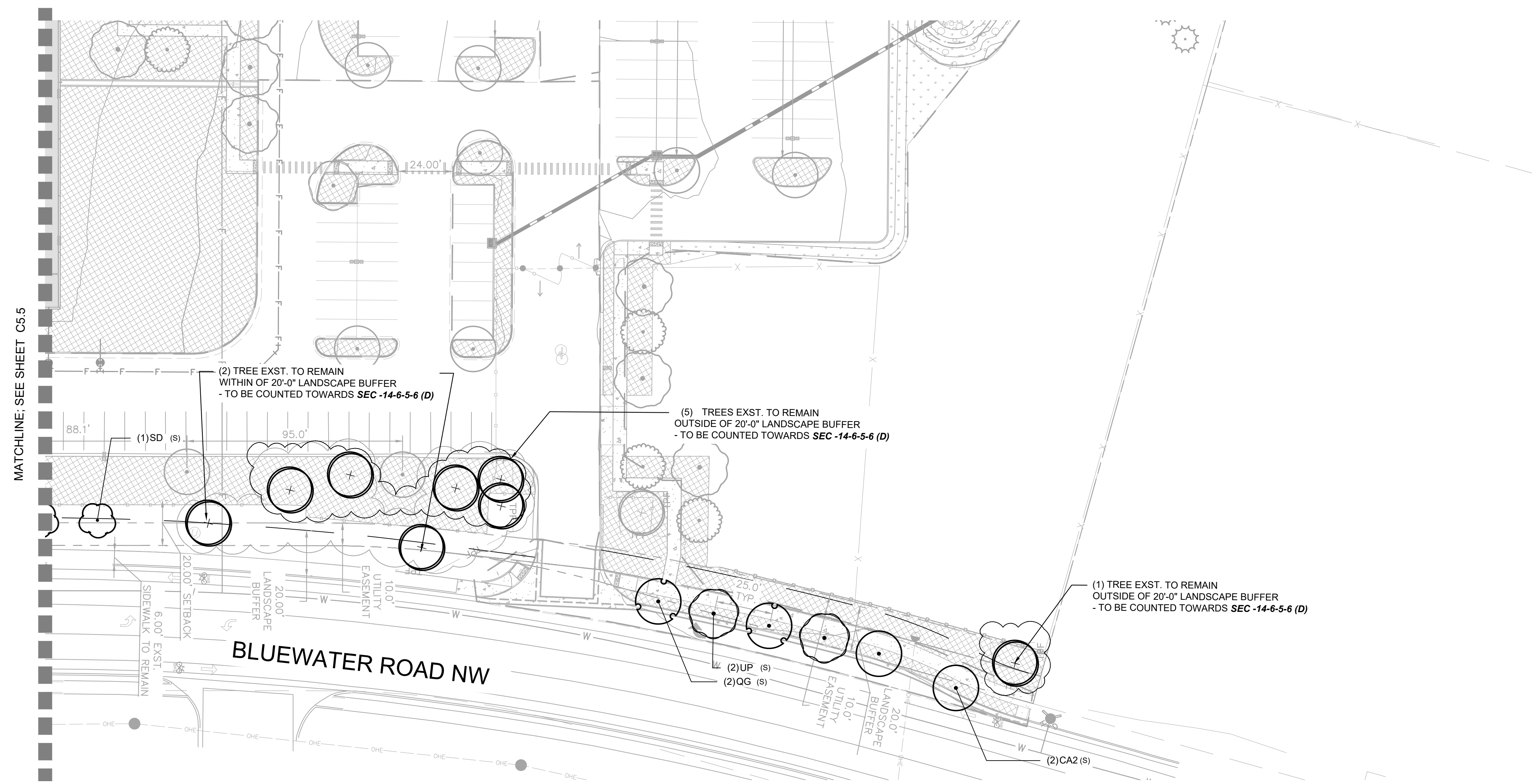
**ABB ABQ ADDITION**  
6625 BLUEWATER ROAD NW  
SITE PLAN - DFT  
ALTERNATE LANDSCAPE PLAN

4/4/2024

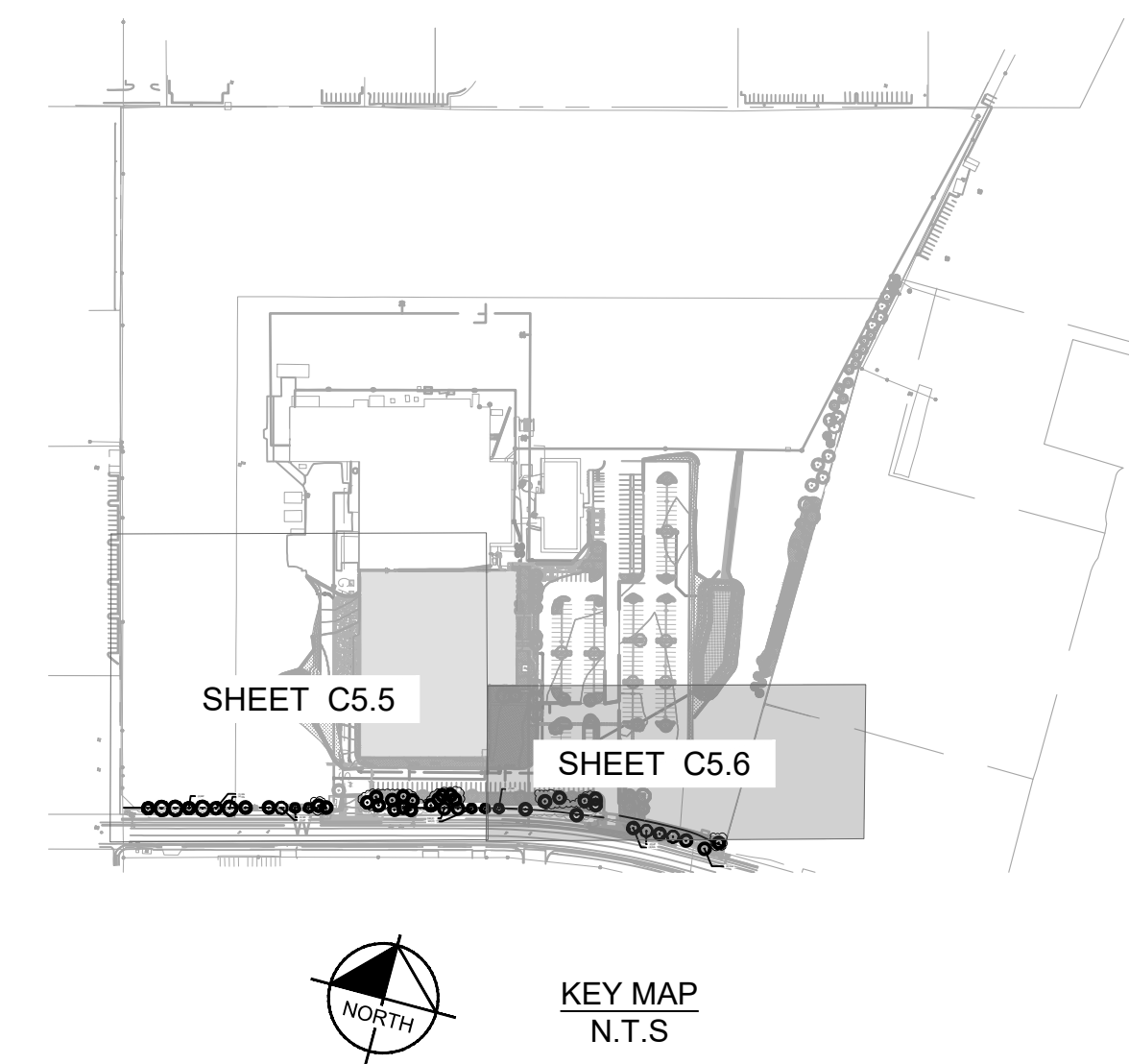
PROJECT NO.  
096523009

SHEET  
**C5.5**

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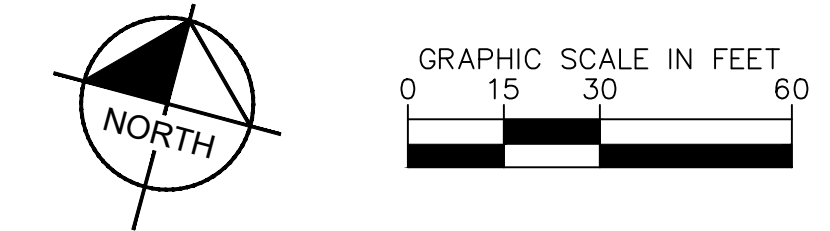


MATCHLINE: SEE SHEET C5.5



**ALTERNATE LANDSCAPE**  
STREET FRONTAGE 14-6-5-6(D)

1 TREE / 25 LF OF STREET FRONTAGE REQUIRED =	45 TREES
TOTAL TREES PROPOSED	21 TREES
TOTAL EXISTING TREES TO REMAIN FOR STREET FRONTAGE REQ.	26 TREES
EXISTING TREES WITHIN 20'-0" LANDSCAPE BUFFER	8 TREES
EXISTING TREES OUTSIDE 20'-0" LANDSCAPE BUFFER	18 TREES
<b>TOTAL TREES PROVIDED (EXISTING AND PROPOSED)</b>	<b>47 TREES</b>



- CONSTRUCTION BID NOTES:**
- ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
  - LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.
  - ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION. PLANS TAKE PRECEDENT OVER PLANT SCHEDULE FOR PLANT QUANTITY COUNT.

- LANDSCAPE NOTES:**
- TREE CANOPIES AND GROUND-LEVEL PLANS SHALL COVER A MINIMUM OF 75 PERCENT OF THE TOTAL LANDSCAPE AREA AS MEASURED BY CANOPY WIDTH OR THE AREA BENEATH THE DRIPLINE OF THE MATURE SIZE OF THE ACTUAL VEGETATION.
  - NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.
  - THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA.
  - VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.
  - TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
  - IRRIGATION WILL BE PROPOSED FOR THIS SITE AT THE CD PLAN LEVEL.

NO.	REVISION	BY	DATE	APPR.

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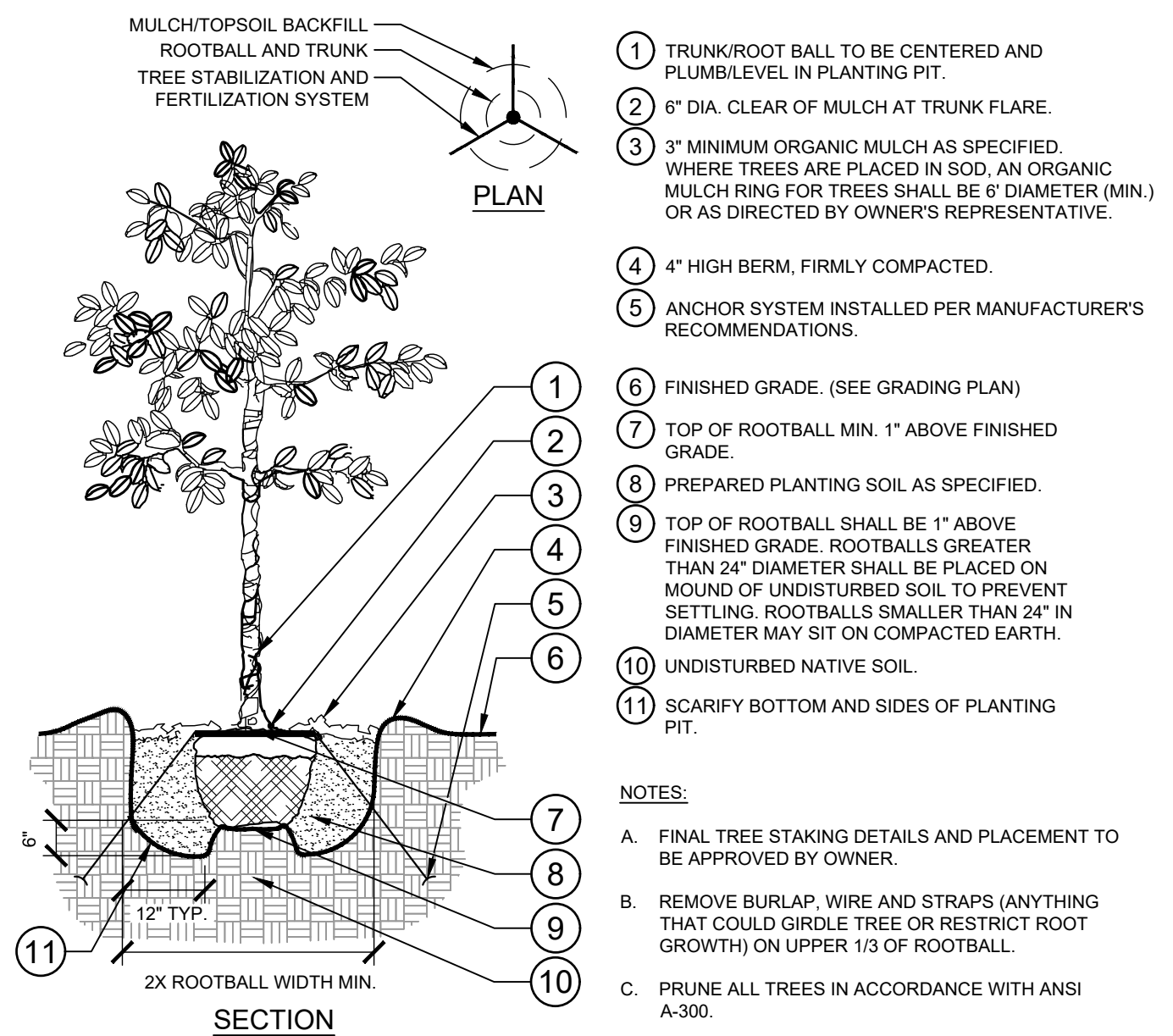
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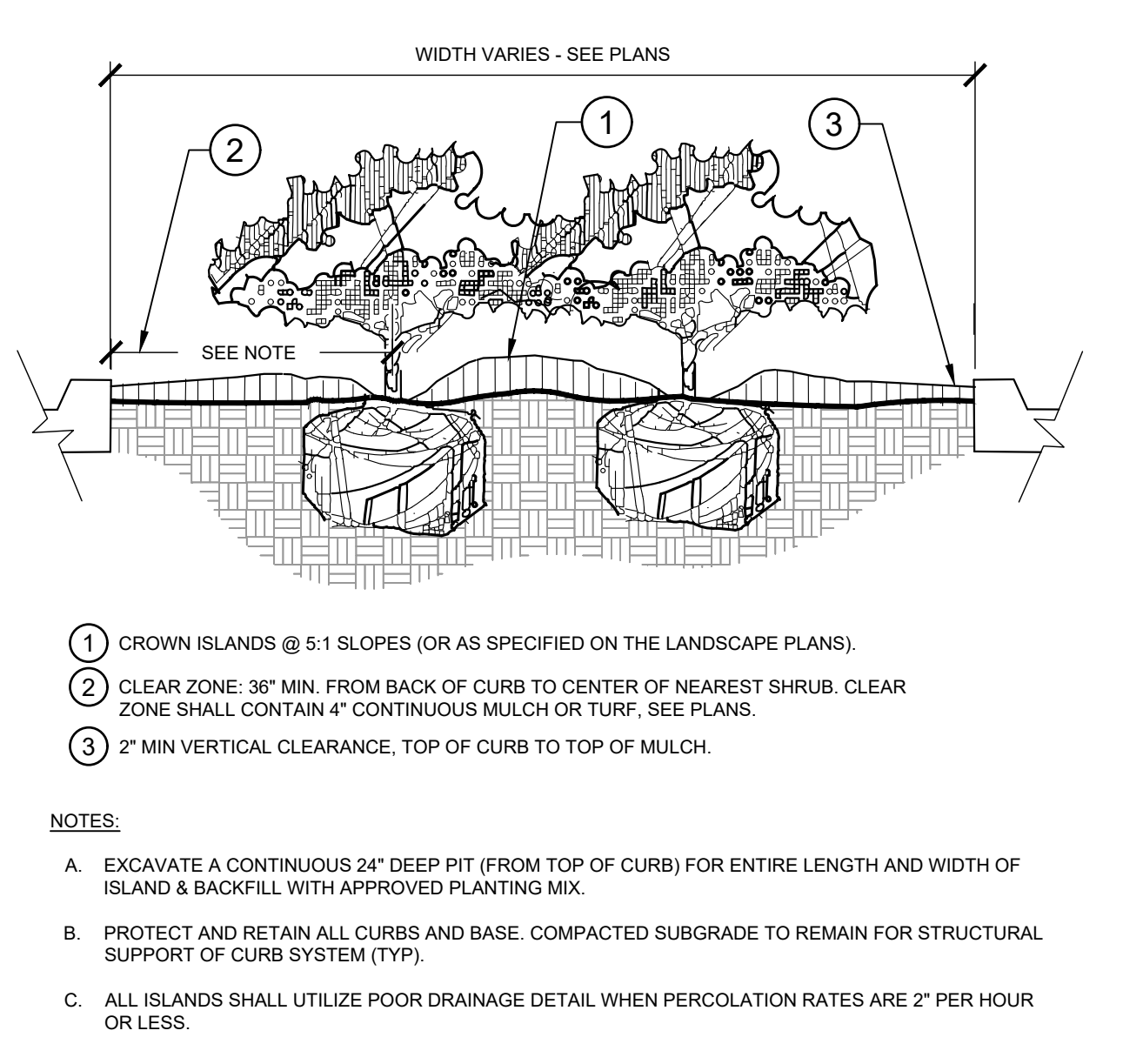
4/4/2024  
PROJECT NO.  
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**C5.6**



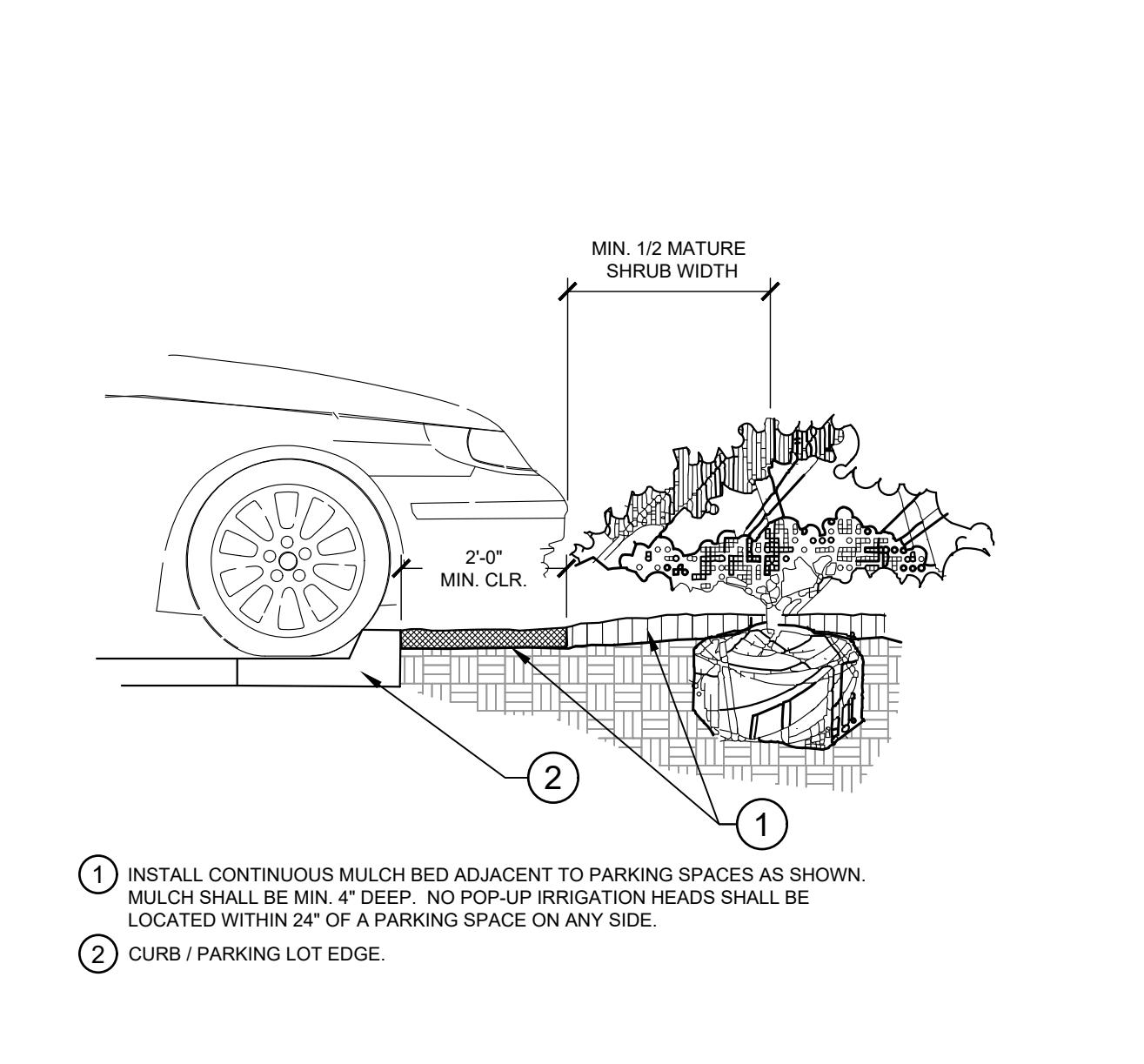
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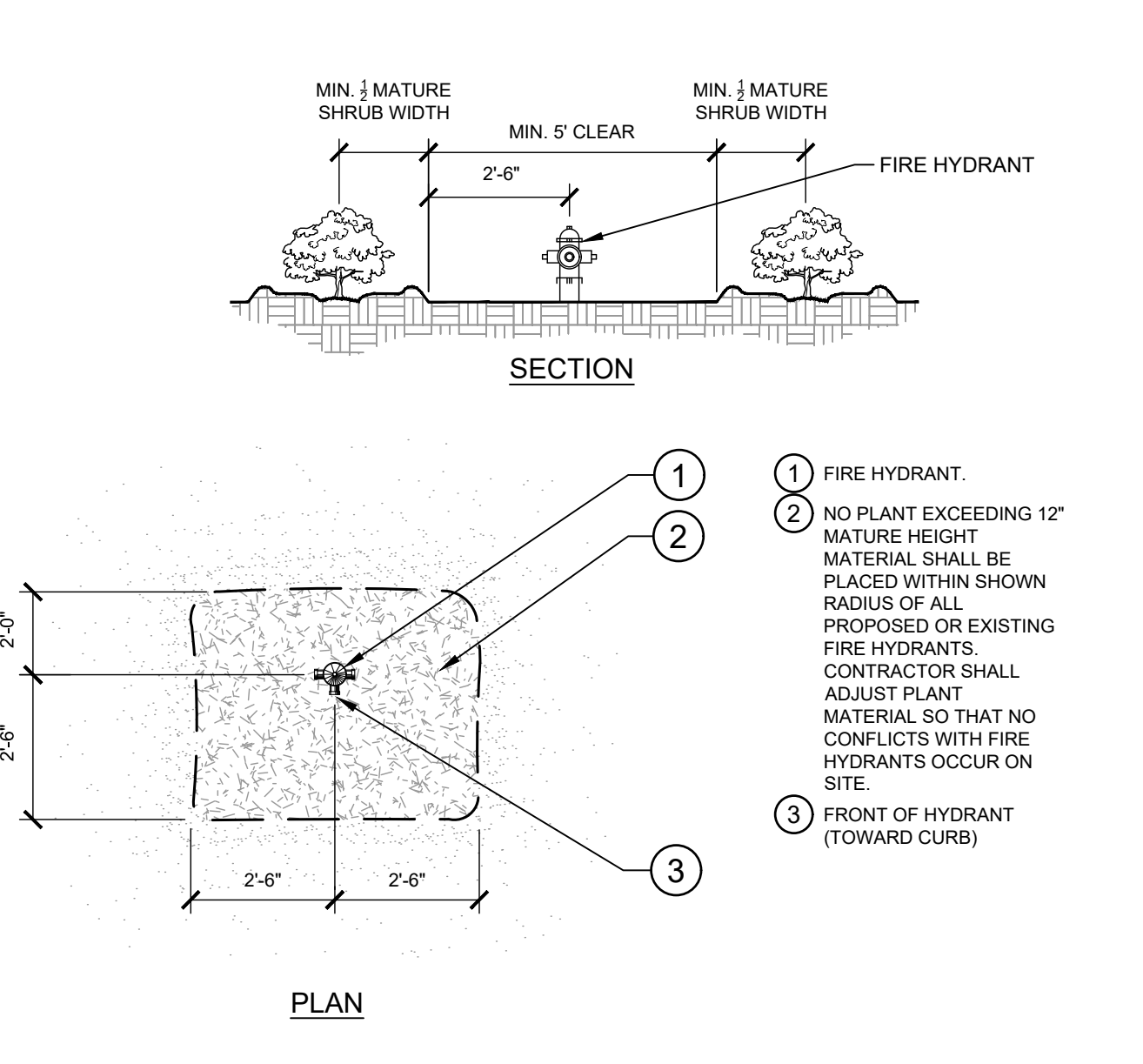
**1 TREE PLANTING**  
SECTION / PLAN  
NTS



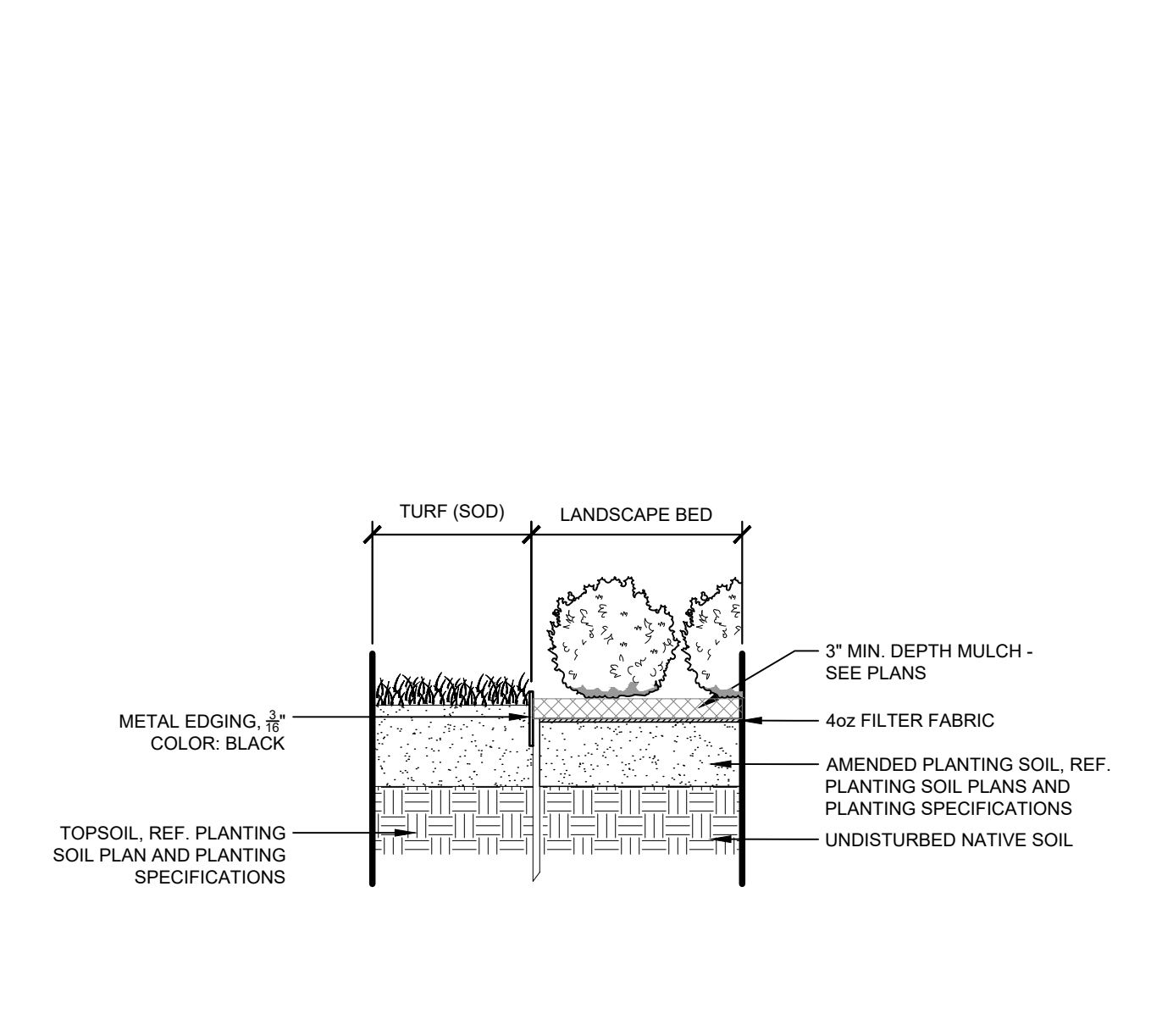
**2 PLANTED PARKING LOT ISLANDS/MEDIANS**  
SECTION  
NTS



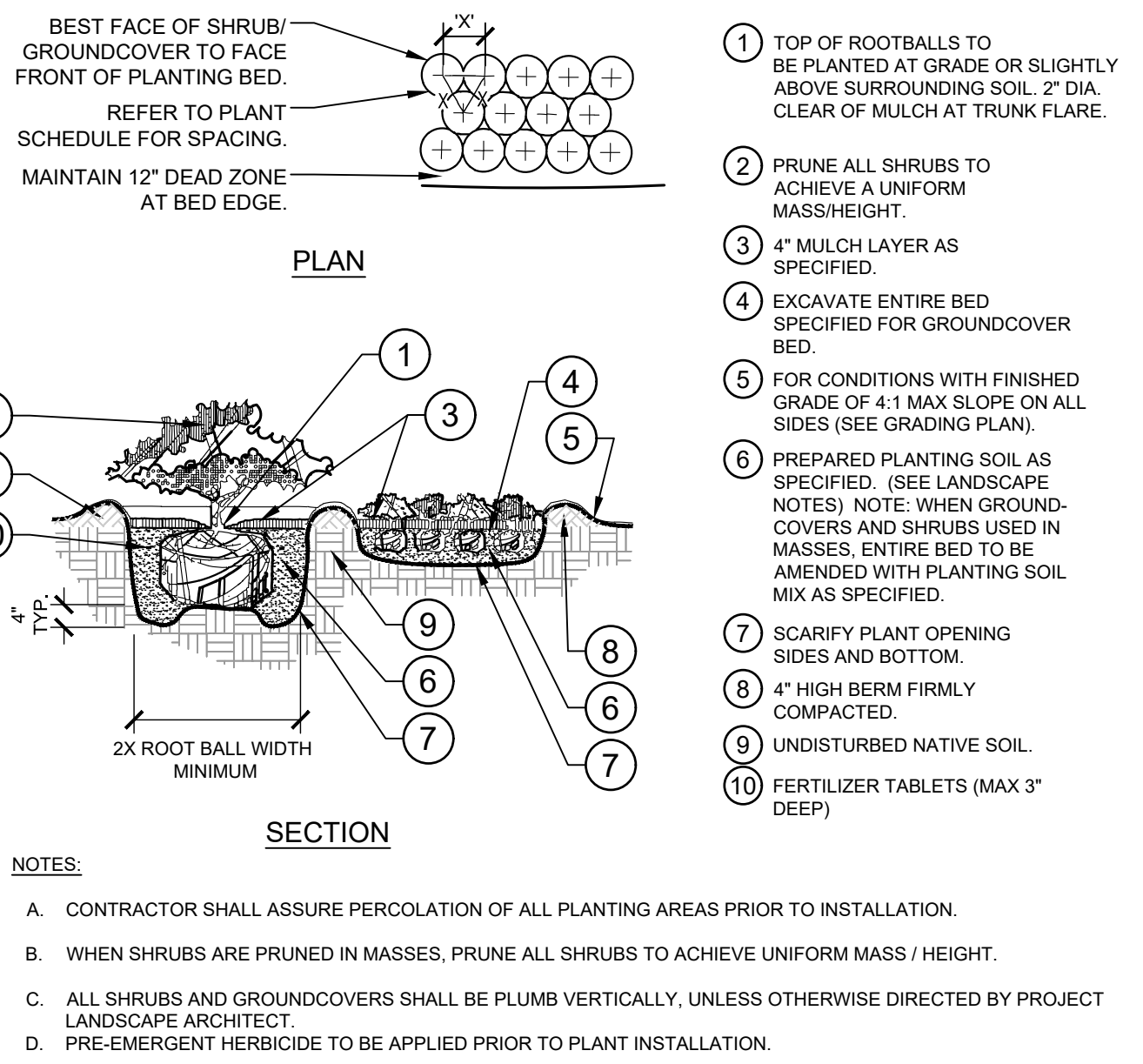
**3 PARKING SPACE/CURB PLANTING**  
SECTION  
NTS



**4 SHRUB PLANTING AT FIRE HYDRANT**  
SECTION / PLAN  
NTS



**5 METAL EDGER AT PLANTING BED**  
SECTION / PLAN  
1" = 1"  
096-523-009-21  
NTS



**6 SHRUB/GROUNDCOVER PLANTING**  
SECTION / PLAN  
NTS

**DETENTION SEED MIX**

WATER PLANTAIN	ALISMA SUBCORDATUM
SWAMP MILKWEED	ASCLEPIAS INCARNATA
TICKSEED SUNFLOWER	BIDENS ARISTOSA
ALLEGHENY MONKEYFLOWER	MIMULUS RINGENS
DITCH STONECROP	PENTHORUM SEDOIDES
CUTLEAF CONEFLOWER	RUDBECKIA LACINIATA
COMMON ARROWHEAD	SAGITTARIA LATIFOLIA
BLUE VERVAIN	VERBENA HASTATA
AWL-FRUITED SEDGE	CAREX STIPATA
FOX SEDGE	CAREX VULPINOIDEA
VIRGINIA WILDRIE	ELYMUS VIRGINICUS
SPIKE RUSH	ELEOCHARIS SPECIES
SOFT RUSH	JUNCUS EFFUSUS
PATH RUSH	JUNCUS TENUIS
RICE CUT GRASS	LEERSIA ORYZOIDES
SWITCHGRASS	PANICUM VIRGATUM
SOFTSTEM BULRUSH	SCHOENOPLECTUS TABERNAEMONTANI
PRAIRIE CORDGRASS	SPARTINA PECTINATA

NURSE CROPS:  
COMMON OATS  
ANNUAL RYE

THIS MIX IS COMPOSED OF TENACIOUS SPECIES OF WILDFLOWERS, GRASSES, RUSHES AND SEDGES THAT CAN TOLERATE AREAS THAT ARE INUNDATED PERIODICALLY BY WATER. PRODUCT CODE: DBWT  
PLANTING RATE: 35 LBS./ACRE  
\*MIXTURE MAY VARY OCCASIONALLY FROM THE INDICATED LISTING, BASED ON AVAILABILITY OF INDIVIDUAL SPECIES.  
NOTE: POND STABILIZATION TO FOLLOW SECTION 1013.  
SEE DETAILS IN ALBUQUERQUE STANDARD SPECIFICATION 1013 FOR SLOPE STABILIZATION AND SEEDING AT DETENTION POND

**NATIVE SEED MIX**

SANDY SOILS	#PLS/AC
Hilaria jamesii 'Viva' - Galleta	7.0
Oryzopsis hymenoides 'Paloma' - Indian Rice Grass	5.0
Bouteloua gracilis 'Hachita' - Blue Grama	2.0
Bouteloua curtipendula 'Vaughn' - Sideoats Grama	1.0
Agropyron smithii 'Arriba' - Western Wheat	1.0
Sporobolus cryptandrus - Sand Dropseed	1.0
Sporobolus airoides 'Salado' - Alkali Sacaton	1.0
Artemisia frigida - Fringed sagebrush	.25
Sphaeralcea ambigua - Desert Globemallow	.25
Sphaeralcea parvifolia - Nelson Globemallow	.25
Helianthus annuus	.5
Oenothera pallida - White Evening Primrose	.25
Baileya multiradiata - Desert Marigold	.25
Abronia fragrans or Abronia villosa - Sand Verbena	.25

NOTE: POND STABILIZATION TO FOLLOW SECTION 1013.  
SEE DETAILS IN ALBUQUERQUE STANDARD SPECIFICATION 1013 FOR SLOPE STABILIZATION AND SEEDING AT DETENTION POND.

SEED RATE IS GIVEN IN POUNDS OF PURE LIVE SEED (PLS) PER ACRE. MIX SHALL INCLUDE AT LEAST FOUR OF THE WILDFLOWER SPECIES LISTED BELOW AT A TOTAL APPLICATION RATE OF AT LEAST 2.0# PLS/AC.

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SITE PLAN - DFT  
LANDSCAPE DETAILS

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## PLANT SCHEDULE LANDSCAPE AREA

SYMBOL	CODE	QTY	BUFFER	LANDSCAPE AREA	STREET SCAPE	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
<b>TREES</b>										
	XI	28	2		26	-----	EXISTING TREE TO REMAIN	-		
<b>DECIDUOUS TREES</b>										
	CA2	16		8	8	CRATAEGUS AMBIGUA	RUSSIAN HAWTHORN	B & B	2" CAL MIN	10' - 12' HT. MIN.
	MP	12	1	9	2	MACLURA POMIFERA	OSAGE ORANGE	B & B	2" CAL MIN	10' - 12' HT. MIN.
	PG	14	2	8	4	PROSOPIS GLANDULOSA	HONEY MESQUITE	B & B	2" CAL MIN	10' - 12' HT. MIN.
	QG	13	9	1	3	QUERCUS GAMBELII	GAMBEL OAK	B & B	2" CAL MIN	10' - 12' HT. MIN.
	SD	9	4		5	SAPINDUS DRUMMONDII	WESTERN SOAPBERRY	B & B	2" CAL MIN	10' - 12' HT. MIN.
	UP	13	1	9	3	ULMUS PARVIFOLIA	LACEBARK ELM	B & B	2" CAL MIN	10' - 12' HT. MIN.
<b>EVERGREEN TREES</b>										
	JS	4	4			JUNIPERUS MONOSPERMA	ONESEED JUNIPER	B & B		6' HT MIN
	PN	6	6			PINUS NIGRA	AUSTRIAN PINE	B & B		6' HT MIN
<b>ORNAMENTAL TREES</b>										
	CL	10	6	4		CHILOPSIS LINEARIS	DESERT WILLOW	B & B	2" CAL MIN	10' - 12' HT. MIN.
	CA	10	7	3		CRATAEGUS AMBIGUA	RUSSIAN HAWTHORN	B & B	2" CAL MIN	10' - 12' HT. MIN.
SYMBOL	CODE	QTY	BUFFER	LANDSCAPE AREA	STREET SCAPE	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
<b>SHRUBS</b>										
	AL	22	22			AMORPHA CANESCENS	LEADPLANT	5 GAL	SEE PLAN	18" FULL
	AW	48	48			ANISACANTHUS WRIGHTII	WRIGHT'S DESERT HONEYSUCKLE	5 GAL	SEE PLAN	18" HT MIN
	AT2	36	36			ARTEMISIA TRIDENTATA	BIG SAGEBRUSH	5 GAL	SEE PLAN	36" FULL
	BM	33	33			BUDDLEJA MARRUBIFOLIA	WOOLY BUTTERFLY BUSH	5 GAL	SEE PLAN	36" FULL
	FP	9			9	FALLUGIA PARADOXA	APACHE PLUME	5 GAL	SEE PLAN	24" FULL
	HP	28	18	10		HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	SEE PLAN	18" FULL
	LS	78	48		30	LEUCOPHYLLUM FRUTESCENS 'COMPACTA'	COMPACT TEXAS RANGER	5 GAL	SEE PLAN	24" HT MIN
<b>ORNAMENTAL GRASSES</b>										
	SW	6			6	SPOROBOLUS WRIGHTII	BIG SACATON	1 GAL		
SYMBOL	CODE	QTY	BUFFER	LANDSCAPE AREA	STREET SCAPE	BOTANICAL NAME	COMMON NAME	CONT		
<b>GROUND COVERS</b>										
	XL2	8,281 SF		8,281 SF		1-4" AGGREGATE MULCH ROCK	1-4" ANGULAR AGGREGATE MULCH	ROCK		
	XT	4,093 SF		4,093 SF		2-4" AGGREGATE MULCH ROCK	2-4" ANGULAR AGGREGATE MULCH	ROCK		
	RM	57,793 SF	9,350 SF	37,750 SF	10,693 SF	3/4"-1" ROCK MULCH	TO MATCH EXISTING	-		
	XL	24,890 SF		24,890 SF		APPLEWOOD NATIVE SEED MIX	NATIVE SEED MIX	SEED		
	XA	8,060 SF		8,060 SF		APPLEWOOD SEED MIX	DETENTION SEED MIX	SEED		

## CODE TABLE

**LANDSCAPE AREA**  
TOTAL LOT AREA = 39.94 ACRES / 1,739,791 SF  
TOTAL GROSS LOT AREA = 1,739,791 SF  
TOTAL BUILDING AREA (EXISTING TO REMAIN) = 103,007 SF  
TOTAL BUILDING AREA (PROPOSED) = 89,631 SF  
NET LOT AREA = 1,547,153 SF

TOTAL NET LOT AREA = 1,547,153 x 20% =  
TOTAL LANDSCAPE REQUIREMENT = 309,431 SF

EXISTING LANDSCAPE = 285,700 SF  
PROPOSED LANDSCAPE = 94,658 SF  
TOTAL LANDSCAPE AREA PROVIDED = 380,358 SF (24%)  
\*NOT COUNTING OVERLAPPING MULCH

EXISTING TREES TO BE REMOVED = 3 TREES  
EXISTING TREES TO REMAIN = 28 TREES  
PROVIDED SHADE TREES = 77 TREES  
PROVIDED ACCENT/ORNAMENTAL TREES = 20 TREES  
PROVIDED EVERGREEN TREES = 10 TREES

TOTAL COVERAGE (PROPOSED LANDSCAPE AREA) 94,658 x 75% =  
TOTAL COVERAGE REQUIREMENT = 70,933.5 SF  
TOTAL COVERAGE PROVIDED = 107,853 SF  
COVERAGE OF ROCK MULCH PROVIDED = 63,886.5 SF (66%)  
COVERAGE OF GROUND-LEVEL PLANTS REQ. = 23,664.5 SF (25%)  
COVERAGE OF GROUND-LEVEL PLANTS PROV. = 38,150 SF (40%)  
\*CALCULATION ASSUMES 20 SF PER GROUND PLANT AS AN AVERAGE MATURE SPREAD AND CANOPY COVERAGE

**14-6-5-6(F) PARKING LOT LANDSCAPING (P)**  
242 PROPOSED PARKING STALLS  
1 TREE EVERY 100'-0" FT OF PARKING  
1 TREE / FOR EACH 10 PARKING STALLS REQUIRED = 25 TREES  
TOTAL TREES PROVIDED = 27 TREES

**14-6-5-6(D) STREET TREE LANDSCAPING (S)**  
1,118 LF OF STREET FRONTAGE  
1 TREE / PER 25 LF OF STREET FRONTAGE REQUIRED = 45 TREES  
TOTAL TREES PROVIDED = 21 TREES  
EXISTING TREES TO REMAIN = 26 TREES  
(8) EXISTING TREES ARE WITHIN 20'-0" LANDSCAPE BUFFER  
(18) EXISTING TREES ARE OUTSIDE 20'-0" LANDSCAPE BUFFER

**14-6-5-6(E) EDGE BUFFER LANDSCAPING (EB)**  
819 LF OF PERIMETER  
1 TREE / PER 20 LF OF SITE PERIMETER REQUIRED = 41 TREES  
5 SHRUBS / PER 20 LF OF SITE PERIMETER REQUIRED = 205 SHRUBS  
TOTAL TREES PROVIDED = 41 TREES  
TOTAL SHRUBS PROVIDED = 205 SHRUBS

**14-6-5-6(C) PEDESTRIAN WALKWAYS (PE)**  
459 LF OF PEDESTRIAN WALKWAYS  
1 TREE / PER 25 LF OF PEDESTRIAN WALKWAY REQUIRED = 19 TREES  
TOTAL TREES PROVIDED = 19 TREES

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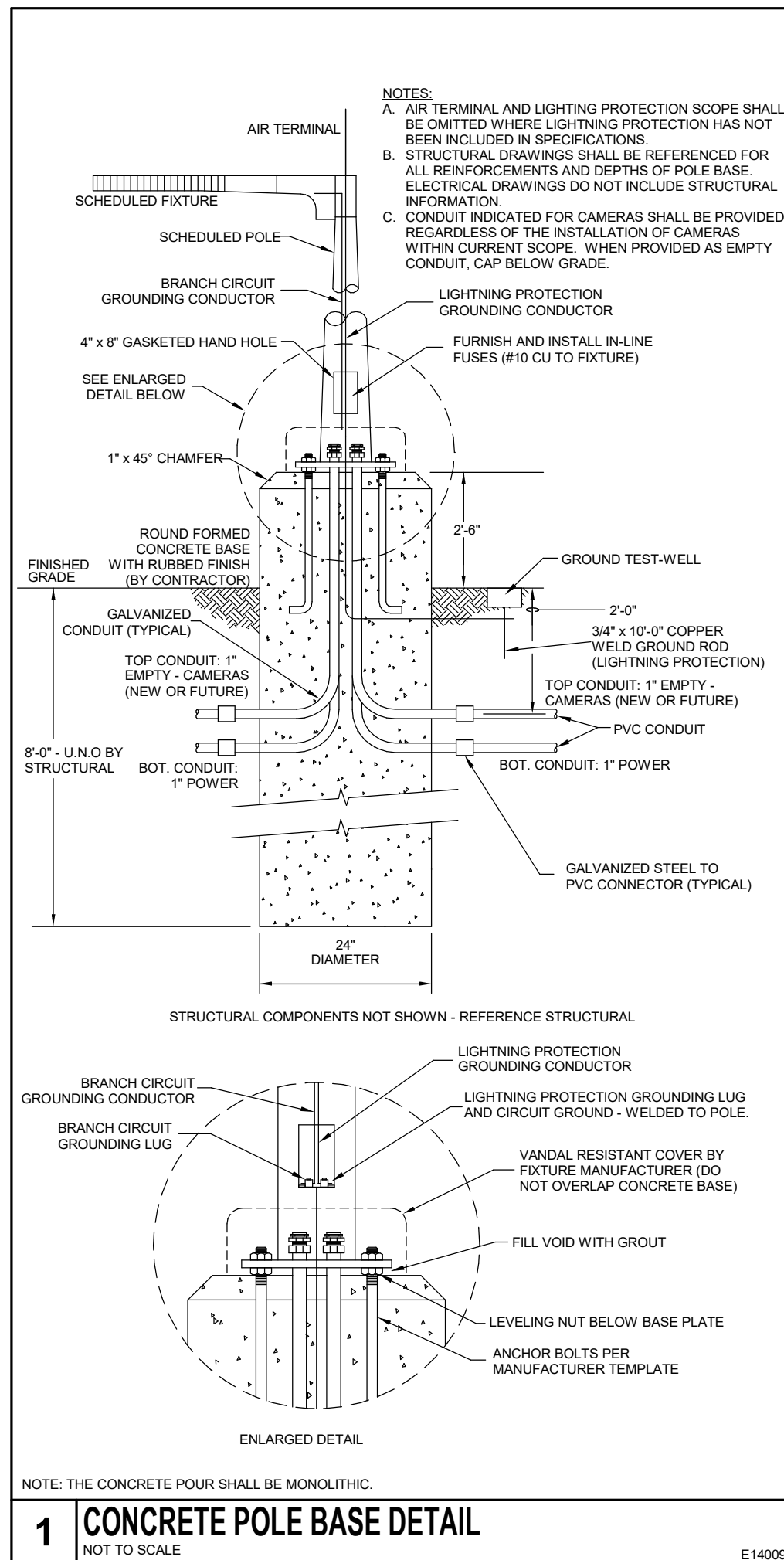
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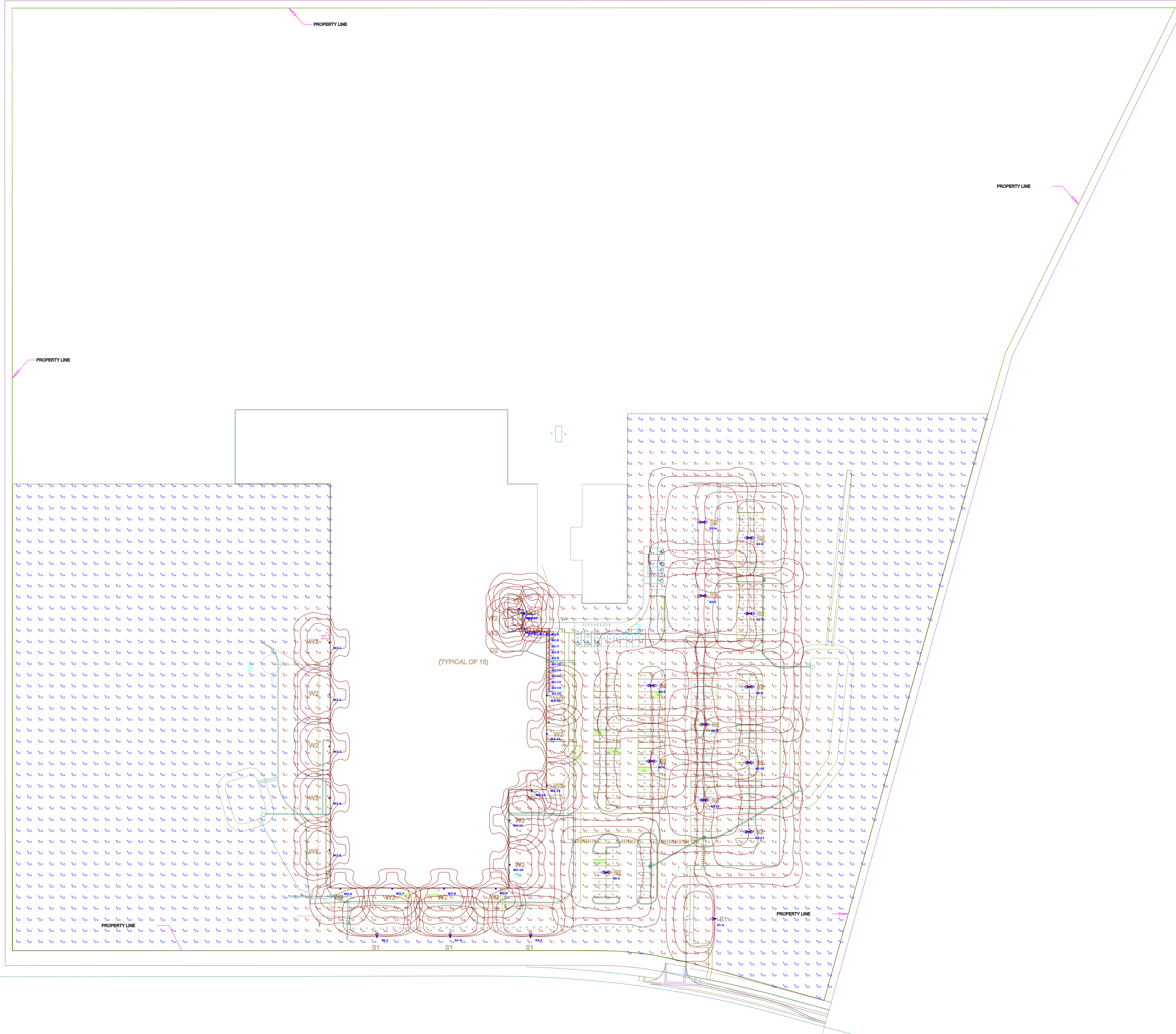
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Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
S1			4	NLS Lighting	NV-1 T3 48L 740K	NV-1 SERIES SIZE 1 AREA LUMINAIRE 48 LED PERFORMANCE 4000K CCT TYPE 3 WITH HOUSE SIDE SHIELD	1	6968	1	104.3	
S2			12	NLS Lighting	NV-1 T5 48L 740K	NV-1 SERIES SIZE 1 AREA LUMINAIRE 48 LED PERFORMANCE 4000K CCT TYPE 5	1	12480	1	208.6	
W2			19	Lithonia Lighting	W062 LED P4 40K 70CRI 1FTM	W062 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE FORWARD THROW MEDIUM OPTIC	1	4742	1	46.6589	
D2			15	Lithonia Lighting	LDN4 40/20 LO4AR LSS	4IN LDN, 4000K, 2000LM, CLEAR, SEMI-SPECULAR REFLECTOR, 80CRI	1	2008	1	22.32	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
GRADE LEVEL	+	2.04 fc	26.2 fc	0.0 fc	N/A	N/A

- Note**
1. ALL CALCULATION POINTS SET AT GRADE LEVEL, 0'.
  2. ALL SITE LIGHTING POLES SET AT 18'6" OVERALL.
  3. ALL WALL PACKS ARE MOUNTED AT 15'.
  4. ALL DOWN LIGHTING IS MOUNTED AT 12', RECESSED.
  5. ALL SITE AND BUILDING-MOUNTED LIGHT FIXTURES ARE FULL CUT-OFF.
  6. ALL LIGHT FIXTURES INSTALLED IN CANOPIES ARE RECESSED ABOVE THE LOWER EDGE OF THE CANOPY AND HAVE FLAT LENSES.



**DBR**  
 9990 Richmond Avenue  
 South Building, Suite 300  
 Houston, Texas 77042  
 713.914.0886 p 713.914.0886 f  
 TBPE Firm Registration No. 2234

DBR Project Number 230277.000

EK LG DT GH -

ISSUE FOR PERMIT	DT	TR
	01/22/2024	

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 6400 South Syracuse Way, Suite 300  
 Greenwood Village, Colorado 80111 (303) 228-2300

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 DRAWN BY: MEJ  
 CHECKED: SAL  
 DATE: ---

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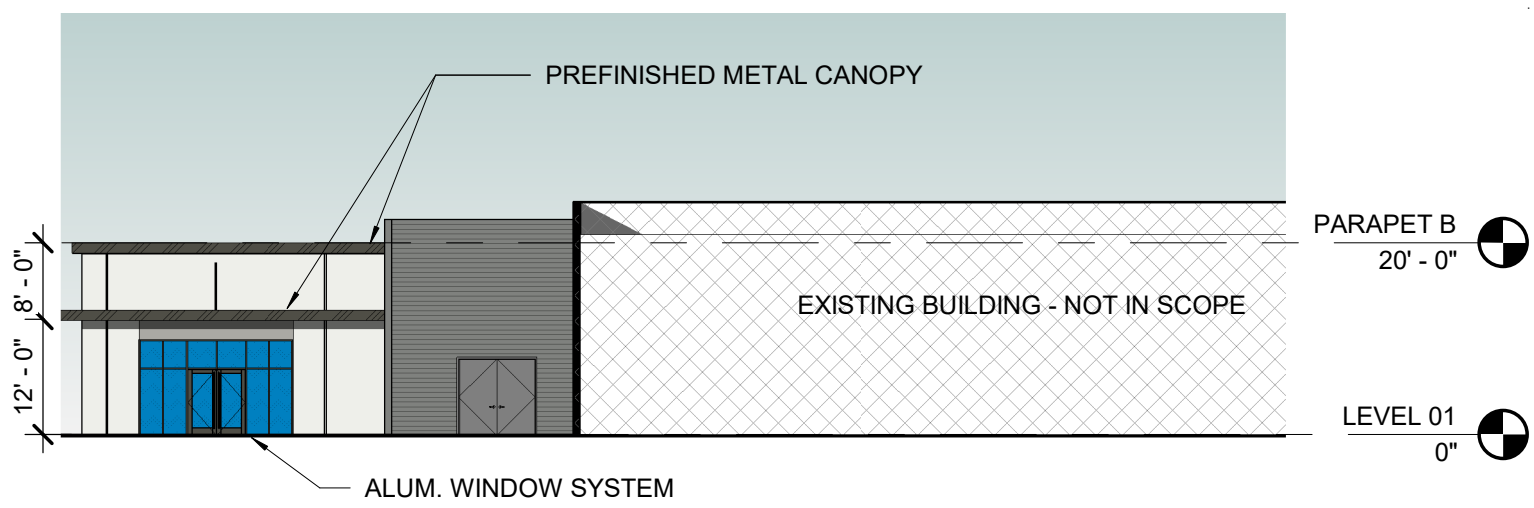
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 SITE PLAN

SHEET TITLE:  
 SITE  
 PHOTOMETRICS

PROJECT NUMBER  
 234047

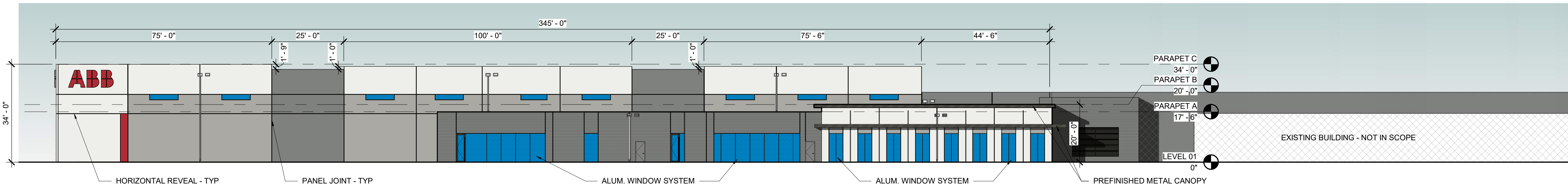
SHEET NUMBER:  
**EPH1.01**

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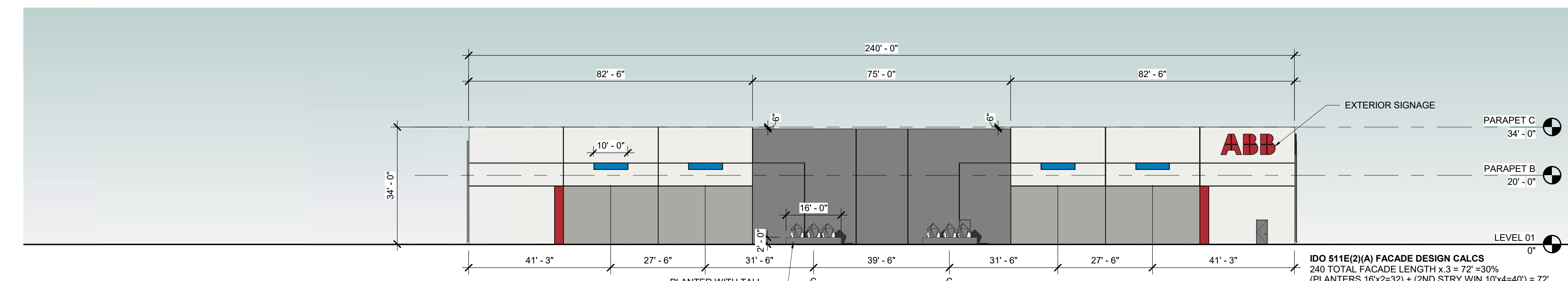
**OVERALL ELEVATION - NORTH - SDP**

SCALE: 1" = 20'-0"



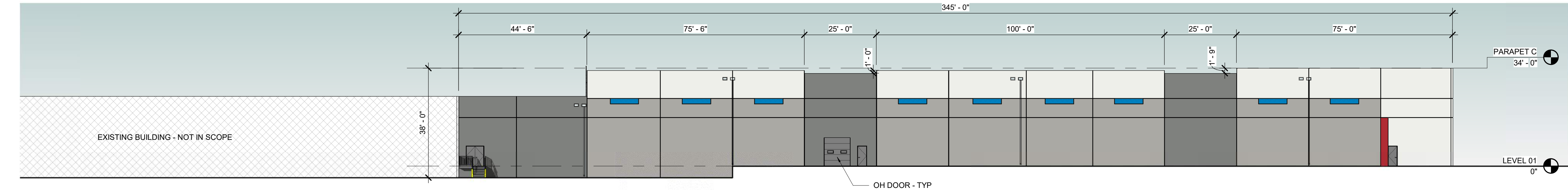
**OVERALL ELEVATION - EAST - SDP**

SCALE: 1" = 20'-0"



**OVERALL ELEVATION - SOUTH - SDP**

SCALE: 1" = 20'-0"



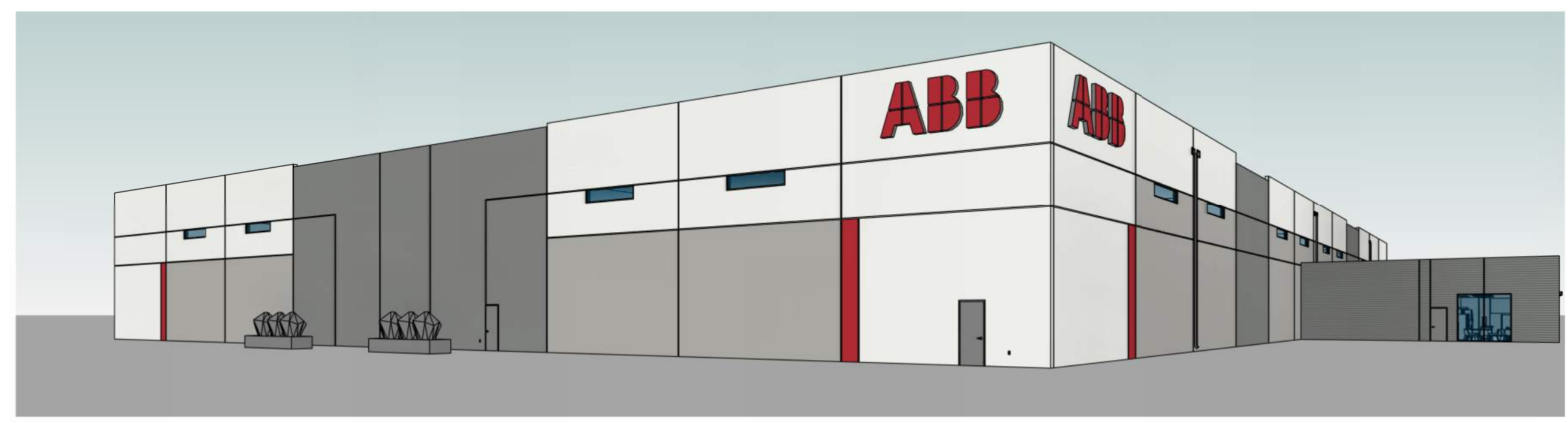
**OVERALL ELEVATION - WEST - SDP**

SCALE: 1" = 20'-0"



**3D VIEW @ NE CORNER**

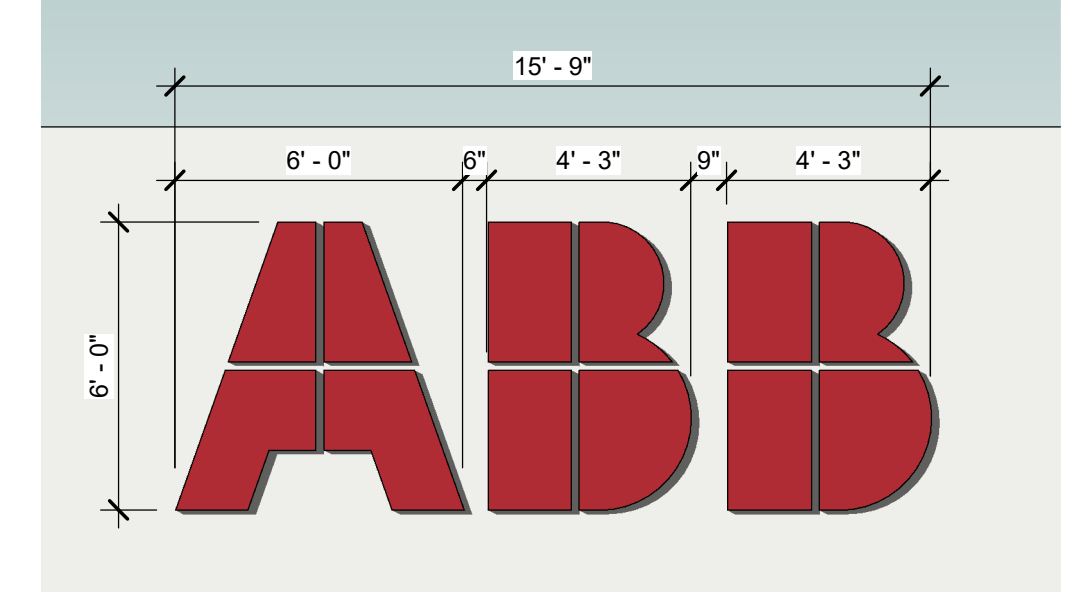
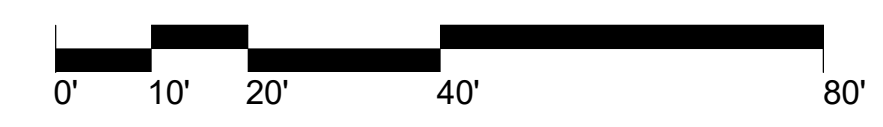
SCALE:



**3D VIEW @ SE CORNER**

SCALE:

- FIELD PAINT - EXTRA WHITE SW 70006
- ACCENT PAINT 1 - ELLIE GRAY SW7650
- ACCENT PAINT 2 - CITYSCAPE SW7067
- ACCENT PAINT 3 - POSITIVE RED 6871
- ACCENT PAINT 2 WITH FORMLINER
- VISION GLAZING
- PREFINISHED METAL CANOPY/STOREFRONT - DARK BRONZE



**SIGN NOTES:**  
 SIGN AREA: 66 SF  
 TYPE: INTERIOR ILLUMINATED WALL MOUNTED BUILDING SIGN  
 MATERIALS: TRANSLUCENT ACRYLIC LENS WITH EXTRUDED ALUMINUM BACKING/MOUNTING PLATE

**EXTERIOR SIGNAGE - ABB LOGO**

SCALE: 1/4" = 1'-0"

**IDO 511E(2)(A) FACADE DESIGN CALCS**  
 240 TOTAL FACADE LENGTH x .3 = 72' = 30%  
 (PLANTERS 16'x2=32) + (2ND STRY WIN 10'x4=40) = 72'

NO.	REVISION	BY	DATE	APPR.

2150 W 29th Ave  
 Suite 400  
 Denver, Colorado 80211  
 303.225.3345  
 www.powersbrown.com

**powers brown architecture**

DESIGNED BY: MF  
 DRAWN BY: MF  
 CHECKED BY: KS  
 DATE: 01/05/2023

**LEGAL DESCRIPTION:**  
 TRACT 4, ATRISCO  
 BUSINESS PARK, UNIT 1  
 CONTAINING .39.775 ACRES

**ABB ABQ ADDITION**  
 6625 BLUEWATER ROAD NW  
 SITE PLAN - DFT  
 BUILDING ELEVATIONS



PROJECT NO. 096523009  
 SHEET A1.0



Current DRC  
Project Number: \_\_\_\_\_

**FIGURE 12**

Date Submitted: \_\_\_\_\_  
Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DHO Project No.: \_\_\_\_\_  
DHO Application No.: \_\_\_\_\_

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT HEARING OFFICER (DHO) REQUIRED INFRASTRUCTURE LIST**

**TRACT A-1, UNIT 1 ATRISCO BUSINESS PARK**

**PROPOSED NAME OF PLAT**

**TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	1,380 sf	Construct new asphalt pavement (new 10.5' wide turn lane)	Bluewater Rd NW	Existing eastern entrance	Eastern property line	/	/	/
<input type="text"/>	<input type="text"/>	6" curb and gutter	Construct new curb and gutter	Bluewater Rd NW	Existing eastern entrance	Eastern property line	/	/	/
<input type="text"/>	<input type="text"/>	6' wide concrete sidewalk	Construct new concrete sidewalk	Bluewater Rd NW	Existing eastern entrance	Eastern property line	/	/	/
<input type="text"/>	<input type="text"/>	3,053 sf	Demolition of existing curb and gutter, and sidewalk	Bluewater Rd NW	Existing eastern entrance	Eastern property line	/	/	/
<input type="text"/>	<input type="text"/>	1,500 sf	striping	Bluewater Rd NW	Existing eastern entrance	SE property line	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
							Approval of Creditable Items:	Approval of Creditable Items:		
							Impact Fee Administrator Signature      Date	City User Dept. Signature      Date		

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

1 \_\_\_\_\_  
\_\_\_\_\_

2 \_\_\_\_\_  
\_\_\_\_\_

3 \_\_\_\_\_  
\_\_\_\_\_

AGENT / OWNER	DEVELOPMENT FACILITATION TEAM APPROVALS	
MADISON JUREWICZ	_____	_____
NAME (print)	PLANNING - date	PARKS & RECREATION - date
KIMLEY-HORN AND ASSOCIATES	_____	_____
FIRM	TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
Madison Jurewicz 1/30/2024	_____	_____
SIGNATURE - date	UTILITY DEVELOPMENT - date	CODE ENFORCEMENT - date
	_____	_____
	CITY ENGINEER - date	HYDROLOGY - date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER